


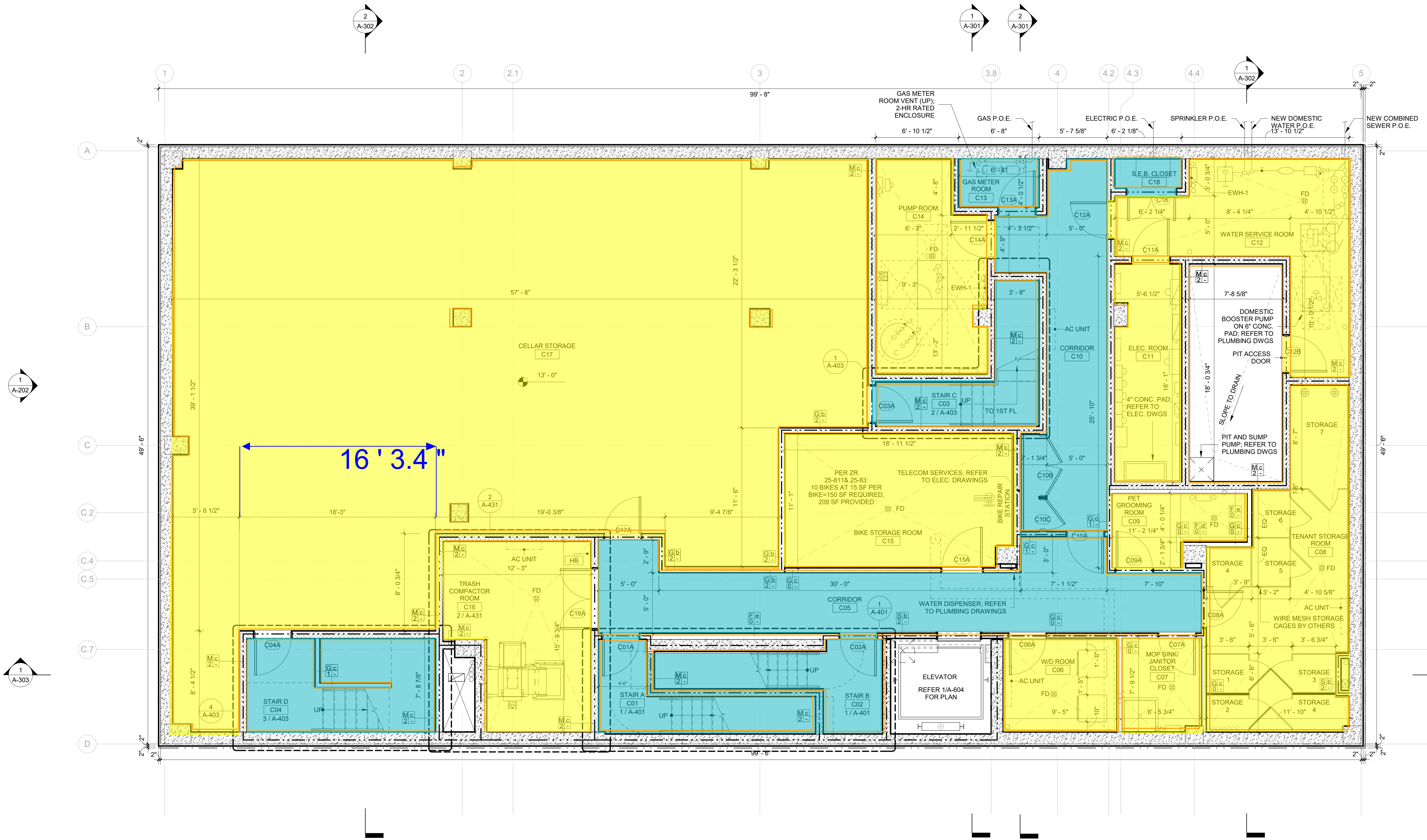


**Flooring Sample
Takeoff Report**

Name	Qty	Unit
Wood Floor - WF-01	10,482	Sq Ft
Wood Base - WD-5	166	Ln Ft
Resin Flooring - RF-01	3,548	Sq Ft
Resin Flooring - RF-02	95	Sq Ft
Wood Floor - WF-02	304	Sq Ft
Wood Base - WD-02	75	Ln Ft
Floor Sealed Concrete	7,115	Sq Ft
Painted Base - PT-03	3,051	Ln Ft
Rubber Base - RB-02	2,802	Ln Ft
Walk Off Mat - CP-01	51	Sq Ft
Rubber Base - RB-01	458	Ln Ft
Vinyl Floor - VF-01	1,018	Sq Ft



	Floor Sealed Concrete	889.41 sf
	Resin Flooring - RF-01	3,241.52 sf
	Rubber Base - RB-02	1,225.81 lf










1 00 CELLAR FLOOR PLAN
1/4" = 1'-0"

- NOTES**

 1. SEE G-015 FOR SYMBOLS
 2. SEE A-801 FOR PARTITION SCHEDULE
 3. SEE A-802 FOR DOOR SCHEDULE
 6. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

8.		TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED
8.		TYPICAL APARTMENT 1 HR DEMISING WALLS, UNLESS OTHERWISE NOTED LEGEND

	1 HR RATED PARTITION
	2 HR RATED PARTITION
	3 HR RATED PARTITION

	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE DETECTOR
	WALL MOUNTED EXIT SIGN
	RESIDENTIAL UNIT INTERCOM

- PLAN NOTES**
1. THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1.
2. WALL ASSEMBLIES MAKING UP THE EXISTING EXTERIOR EGRESS ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2, AS PER ASTM C 1629/ C1629 M.
3. ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.
4. ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.7 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 SECTION 3003 (BC 1007.4).
5. ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1).
6. STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE ARCHITECTURAL SCHEDULE.
7. AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANTS STATION (BC 1008.4.4).
8. STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1). THE RISER HEIGHT SHALL NOT EXCEED 7' 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 11". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25" (BC 1009.4.2).
9. ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2.
10. A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL. (BC 1009.14).
11. SMOKE DETECTORS SHALL COMPLY WITH BC 903.2.1.1. DETECTORS SHALL BE INSTALLED ON A DEDICATED CIRCUIT, WITH BATTERY BACKUP AND INSTALLED IN EACH BEDROOM AND WITHIN 15 FEET OF THE DOOR TO EACH BEDROOM. (BC 907.2.1.1).
12. IN INTERIOR WALL AND CEILING FINISHES OF EXIT ENCLOSURES, SMOKE DETECTOR INDEX SHALL BE 25 OR LESS.
13. MACHINERY SPACES CONTAINING EQUIPMENT TOTALING MORE THAN 75 RATED HP SHALL NOT BE LOCATED HORIZONTALLY OR VERTICALLY ADJACENT TO DWELLING UNITS. OUTLET OF THE SOUND PRESSURE LEVEL, OUTPUT OF THE EQUIPMENT SHALL NOT EXCEED THE MAXIMUM SOUND PRESSURE LEVEL OF 24 DB (1207.2.1) IN ANY OBTAINABLE BAND.
14. WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SHALL BE INSTALLED IN DWELLING UNITS FROM EACH OTHER, FROM ADJACENT OCCUPANCIES, FROM PUBLIC OR SERVICE AREAS, FROM STAIRS OR FROM OTHER AREAS OF THE BUILDING. WALLS, PARTITIONS OR OTHER SHAFTS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) FOR AIR BORNE NOISE OF NOT LESS THAN 45. SOUND TRANSMISSION CLASS REQUIREMENTS MADE IN ACCORDANCE WITH ASTM E 90. DWELLING UNIT ENTRANCE DOORS SHALL BE INSTALLED OF AN EQUAL OR BETTER SOUND TRANSMISSION CLASS THAN 30. PENETRATIONS SHALL BE SEALED (BC 107.3).

16. **DOORS AND DOORWAYS AT ENTRANCE(S) TO ACCESSIBLE UNITS AND TYPE B-HVS UNITS INCLUDING HARDWARE, SHALL COMPLY WITH SECTION 404 OF ICC A117.1. DOORS AND DOORWAYS AT TYPE B UNITS SHALL COMPLY WITH SECTION 1003.5 OF ICC A117.1.**

17. **ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-6" ABOVE THE TERRACE DECK FINISHED FLOOR**

18. **REFER 6-A-621 FOR ENLARGED TYPICAL CLOSET**

19. **REFER 6-A-621 AND 6-A-622 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).**

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Fax: 732-432-5717

VEGETATION:
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Fax: 973-994-3923

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Fax: 212-271-4111

FILE REPRESENTATIVE:
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52 Diamond Street
Brooklyn, NY 11222
Phone: 718-883-0340
Fax: 713-883-8510

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017

SCALE: 1/4" = 1'-0"



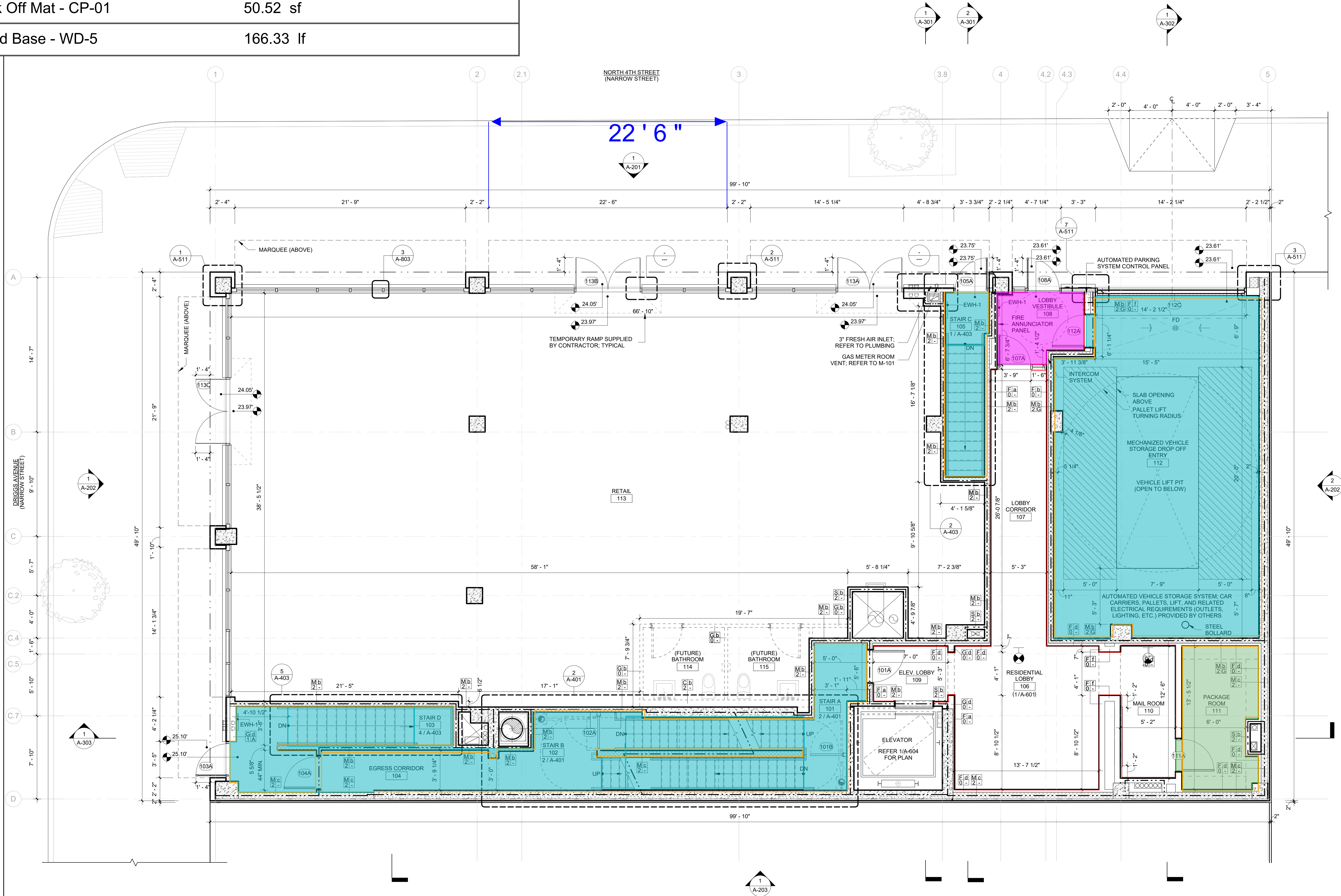
CELLAR PLAN

A-101.00

MA PROJECT NO:1538 SHEET 36 OF 67

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	Floor Sealed Concrete	1,100.10 sf
	Resin Flooring - RF-02	95.16 sf
	Rubber Base - RB-02	431.09 lf
	Walk Off Mat - CP-01	50.52 sf
	Wood Base - WD-5	166.33 lf



01 FLOOR PLAN
1/4" = 1'-0"

- NOTES
- SEE G-015 FOR SYMBOLS
 - SEE A-801 FOR PARTITION SCHEDULE
 - SEE A-802 FOR DOOR SCHEDULE
 - ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 - TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED
 - TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED
 - LEGEND
- 1 HR RATED PARTITION
2 HR RATED PARTITION
3 HR RATED PARTITION
- SMOKE DETECTOR
SMOKE & CARBON MONOXIDE DETECTOR
WALL MOUNTED EXIT SIGN
RESIDENTIAL UNIT INTERCOM

- PLAN NOTES
- THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1
 - WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.
 - ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.
 - ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.27 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. (BC 1007.4)
 - ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1)
 - STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE DOOR SCHEDULE.
 - AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)
 - STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1). THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)
 - ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2
 - A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)
 - SMOKE DETECTORS SHALL COMPLY WITH BC 907.2.11 AND SHALL BE INTERCONNECTED, ON A DEDICATED CIRCUIT, WITH BATTERY BACKUP AND INSTALLED IN EACH BEDROOM AND WITHIN 15 FEET OF THE DOOR TO EACH BEDROOM. (BC 907.2.11)
 - INTERIOR WALL AND CEILING FINISHES OF EXIT ENCLOSURES AND CORRIDORS SHALL BE CLASS B OR BETTER SMOKE DEVELOPED INDEX SHALL BE 25 OR LESS.
 - MACHINERY SPACES CONTAINING EQUIPMENT TOTALING MORE THAN 75 RATED HP SHALL NOT BE LOCATED HORIZONTALLY OR VERTICALLY ADJACENT TO DWELLING UNITS UNLESS THE TOTAL SOUND PRESSURE LEVEL OUTPUT OF ALL EQUIPMENT IS CERTIFIED NOT TO EXCEED THE MAXIMUM SOUND PRESSURE LEVEL OF TABLE 1207.2.1 IN ANY OCTAVE BAND.
 - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER, FROM ADJACENT OCCUPANCIES, FROM PUBLIC OR SERVICE AREAS, FROM STAIRS OR FROM MECHANICAL EQUIPMENT SPACES OR ELEVATOR OR OTHER SHAFTS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) FOR AIR BORNE NOISE OF NOT LESS THAN 50 BASED UPON LABORATORY MEASUREMENTS MADE IN ACCORDANCE WITH ASTM E 90. DWELLING UNIT ENTRANCE DOORS SHALL BE INSTALLED OF AN ASSEMBLY HAVING AN STC OF NOT LESS THAN 30. ALL PENETRATIONS SHALL BE SEALED. (BC 107.3)
 - FLOOR AND CEILING ASSEMBLIES BOUNDING A DWELLING UNIT SHALL HAVE AN IC RATING OF NOT LESS THAN 50 BASED ON LABORATORY MEASUREMENTS.
 - DOORS AND DOORWAYS AT ENTRANCE(S) TO ACCESSIBLE UNITS AND TYPE B-NYC UNITS INCLUDING HARDWAYRE, SHALL COMPLY WITH SECTION 404 OF CC A117.1. DOORS AND DOORWAYS AT TYPE B UNITS SHALL COMPLY WITH SECTION 1003.5 OF ICC A117.1.
 - ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-6" ABOVE THE TERRACE DECK FINISHED FLOOR
 - REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).
- NOTE: ALL ELEVATIONS ARE DRAWN IN ACCORDANCE WITH CITY DATUM NAVD88

625 DRIGGS

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MA Morris Adjmi Architects
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10/06/2017 BID SET
10/28/2016 DESIGN DEVELOPMENT
05/13/2016 SCHEMATIC DESIGN

REV NO DATE ISSUE

BID SET

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NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017

SCALE: 1/4" = 1'-0"





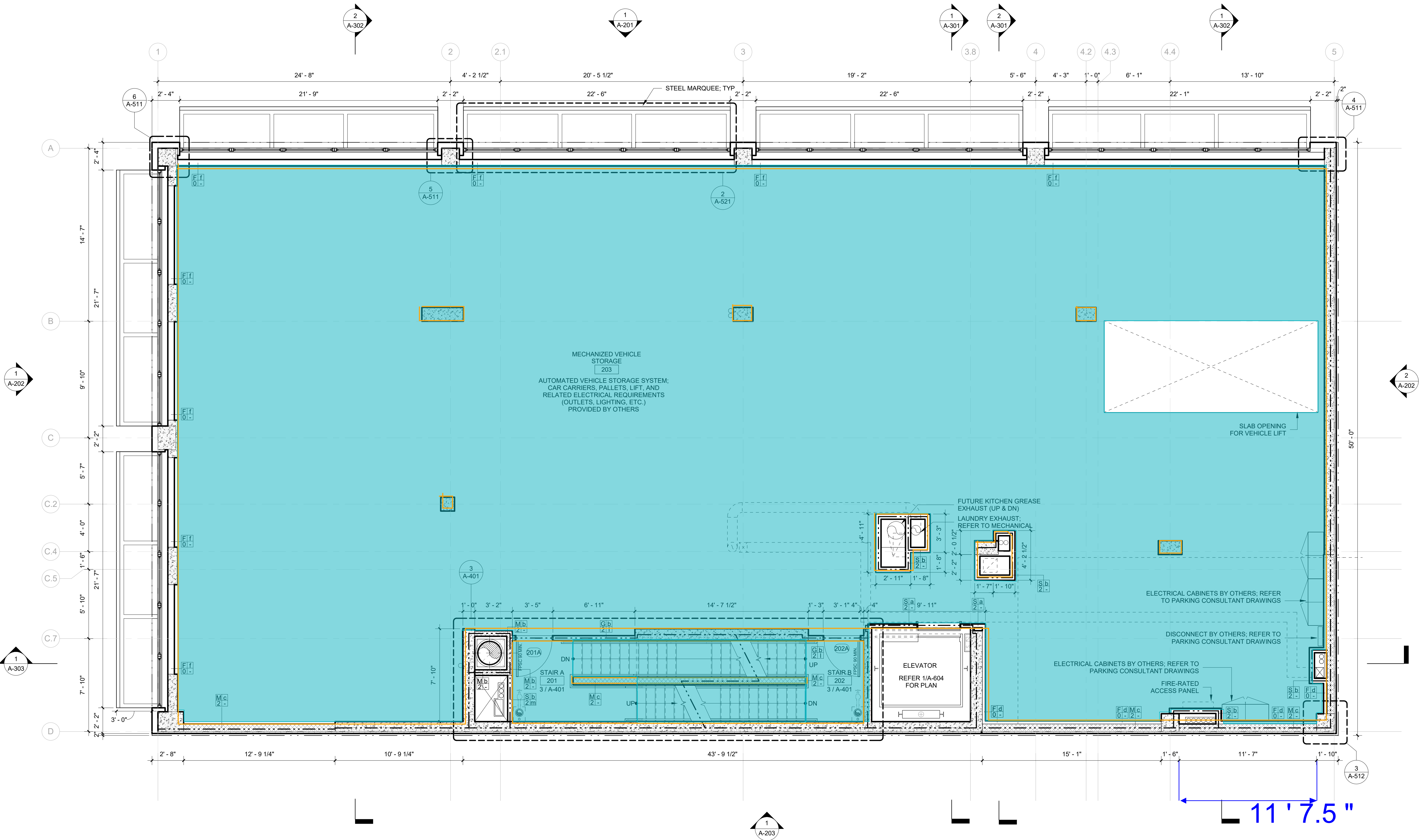
1ST FLOOR PLAN

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





MA PROJECT NO 1538 SHEET 37 OF 67

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 Floor Sealed Concrete	4,247.65 sf
 Rubber Base - RB-02	480.05 lf



02 FLOOR PLAN
1/4" = 1'-0"

NOTES	
1. SEE G-015 FOR SYMBOLS	
2. SEE A-801 FOR PARTITION SCHEDULE	
3. SEE A-802 FOR DOOR SCHEDULE	
6. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)	
7.  TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED	
8.  TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED	LEGEND
---	1 HR RATED PARTITION
---	2 HR RATED PARTITION
---	3 HR RATED PARTITION
 (SD)	SMOKE DETECTOR
 (S/C)	SMOKE & CARBON MONOXIDE DETECTOR
	WALL MOUNTED EXIT SIGN
 (IC)	RESIDENTIAL UNIT INTERCOM

PLAN NOTES	
1. THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1	
2. WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.	
3. ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.	
4. ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.27 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. (BC 1007.4)	
5. ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1)	
6. STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE DOOR SCHEDULE.	
7. AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)	
8. STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1). THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)	
9. ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2	
10. A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)	
11. SMOKE DETECTORS SHALL COMPLY WITH BC 907.2.11 AND SHALL BE INTERCONNECTED, ON A DEDICATED CIRCUIT, WITH BATTERY BACKUP AND INSTALLED IN EACH BEDROOM AND WITHIN 15 FEET OF THE DOOR TO EACH BEDROOM. (BC 907.2.11)	
12. INTERIOR WALL AND CEILING FINISHES OF EXIT ENCLOSURES AND CORRIDORS SHALL BE CLASS B OR BETTER SMOKE DEVELOPED INDEX SHALL BE 25 OR LESS.	
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17. ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-0" ABOVE THE TERRACE DECK FINISHED FLOOR	
18. REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).	

625 DRIGGS

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Brooklyn NY

MA Morris Adjmi Architects
www.ma.com

10/06/2017	BID SET
10/28/2016	DESIGN DEVELOPMENT
05/13/2016	SCHEMATIC DESIGN

REV NO	DATE	ISSUE
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BID SET

OWNER/CLIENT: Redsky Capital 3 Hope Street Brooklyn, NY 11211 Phone: 718-366-1800 Fax: 718-366-1890	CIVIL: McLaren Engineering Group 131 West 35th Street, 4th Fl. Brooklyn, NY 11211 Phone: 212-324-6300 Fax: 212-324-6310
ARCHITECT: Morris Adjmi Architects 61 Main St. New York, NY 10001 Phone: 212-882-2020 Fax: 212-674-4511	ELEVATOR: VDA/Van Deusen & Associates 120 Eagle Rock Avenue, Suite 120 East Hanover, NJ 07936 Phone: 973-994-9220 Fax: 973-994-2538
MEP/FP: ABS Engineering 39 West 29th Street, Suite 304 New York, NY 10001 Phone: 212-317-2361	ACOUSTICAL: Longman Lindsey 1410 Broadway, Suite 508 New York, NY 10018 Phone: 212-315-6400
STRUCTURAL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 11211 Phone: 212-324-6300 Fax: 212-324-6310	ENVELOPE: SGH (Simpson Gumperts & Hager) 550 Seventh Avenue, 10th Floor New York, NY 10018 Phone: 212-271-7000 Fax: 212-271-0111
GEO/TECHNICAL: Carlin-Simpson & Associates 61 Main St. Sayreville, NJ 08872 Phone: 732-432-5757 Fax: 732-432-5717	FILING REPRESENTATIVE: Design 2147 LTD. 52 Diamond Street Brooklyn, NY 11222 Phone: 718-883-6940 Fax: 718-883-8510

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017

SCALE: 1/4" = 1'-0"



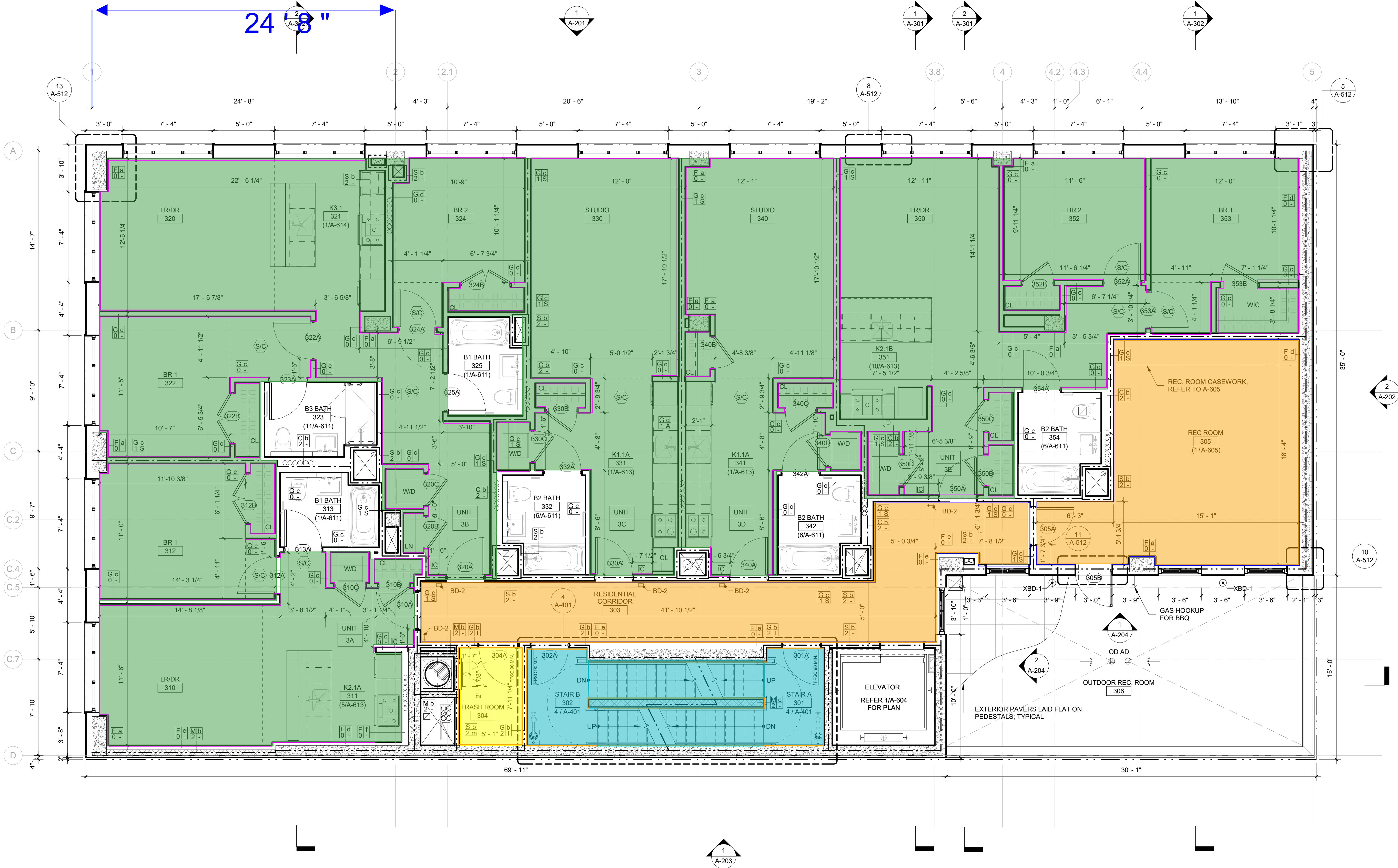
2ND FLOOR PLAN

A-103.00

MA PROJECT NO 1538 SHEET 38 OF 67

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	Floor Sealed Concrete	176.22 sf
	Painted Base - PT-03	817.22 lf
	Resin Flooring - RF-01	39.82 sf
	Rubber Base - RB-01	123.69 lf
	Rubber Base - RB-02	122.90 lf
	Vinyl Floor - VF-01	272.92 sf
	Wood Base - WD-02	74.80 lf
	Wood Floor - WF-01	2,820.32 sf
	Wood Floor - WF-02	303.69 sf



1 3RD FLOOR PLAN
1/4" = 1'-0"

NOTES	
1.	SEE G-015 FOR SYMBOLS
2.	SEE A-801 FOR PARTITION SCHEDULE
3.	SEE A-802 FOR DOOR SCHEDULE
6.	ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
7.	TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED
8.	TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED
1 HR RATED PARTITION	
2 HR RATED PARTITION	
3 HR RATED PARTITION	
SMOKE DETECTOR	
SMOKE & CARBON MONOXIDE DETECTOR	
WALL MOUNTED EXIT SIGN	
RESIDENTIAL UNIT INTERCOM	

PLAN NOTES	
1.	THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1
2.	WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOSTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.
3.	ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.
4.	ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.27 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. (BC 1007.4)
5.	ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1)
6.	STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE DOOR SCHEDULE.
7.	AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)
8.	STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1) THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)
9.	ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2
10.	A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)
11.	SMOKE DETECTORS SHALL COMPLY WITH BC 907.2.11 AND SHALL BE INTERCONNECTED, ON A DEDICATED CIRCUIT, WITH BATTERY BACKUP AND INSTALLED IN EACH BEDROOM AND WITHIN 15 FEET OF THE DOOR TO EACH BEDROOM. (BC 907.2.11)
12.	INTERIOR WALL AND CEILING FINISHES OF EXIT ENCLOSURES AND CORRIDORS SHALL BE CLASS B OR BETTER SMOKE DEVELOPED INDEX SHALL BE 25 OR LESS.
13.	MACHINERY SPACES CONTAINING EQUIPMENT TOTALING MORE THAN 75 RATED HP SHALL NOT BE LOCATED HORIZONTALLY OR VERTICALLY ADJACENT TO DWELLING UNITS UNLESS THE TOTAL SOUND PRESSURE LEVEL OUTPUT OF ALL EQUIPMENT IS CERTIFIED NOT TO EXCEED THE MAXIMUM SOUND PRESSURE LEVEL OF TABLE 1207.2.1 IN ANY OCTAVE BAND.
14.	WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER, FROM ADJACENT OCCUPANCIES, FROM PUBLIC OR SERVICE AREAS, FROM STAIRS OR FROM MECHANICAL EQUIPMENT SPACES OR ELEVATOR OR OTHER SHAFTS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) FOR AIR BORNE NOISE OF NOT LESS THAN 50 BASED UPON LABORATORY MEASUREMENTS MADE IN ACCORDANCE WITH ASTM E 90. DWELLING UNIT ENTRANCE DOORS SHALL BE INSTALLED OF AN ASSEMBLY HAVING AN STC OF NOT LESS THAN 30. ALL PENETRATIONS SHALL BE SEALED. (BC 107.3)
15.	FLOOR AND CEILING ASSEMBLIES BOUNDING A DWELLING UNIT SHALL HAVE AN IIC RATING OF NOT LESS THAN 50 BASED ON LABORATORY MEASUREMENTS.
16.	DOORS AND DOORWAYS AT ENTRANCE(S) TO ACCESSIBLE UNITS AND TYPE B-NYC UNITS INCLUDING HARDWAYRE, SHALL COMPLY WITH SECTION 404 OF ICC A117.1. DOORS AND DOORWAYS AT TYPE B UNITS SHALL COMPLY WITH SECTION 1003.5 OF ICC A117.1.
17.	ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-6" ABOVE THE TERRACE DECK FINISHED FLOOR
18.	REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).

625 DRIGGS

625 Driggs Avenue,
Brooklyn NY



Morris Adjmi Architects
www.ma.com

10/06/2017 BID SET
10/28/2016 DESIGN DEVELOPMENT
05/13/2016 SCHEMATIC DESIGN

REV NO DATE ISSUE

BID SET

OWNER/CLIENT: Redsky Capital 3 Hope Street Brooklyn, NY 11211 Phone: 718-366-1800 Fax: 718-366-1899	CIVIL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 10001 Phone: 212-324-6300 Fax: 212-324-6310	ELEVATOR: VDA/Van Deusen & Associates) 120 Eagle Rock Avenue, Suite 120 East Hanover, NJ 07936 Phone: 973-994-4520 Fax: 973-994-2538
ARCHITECT: Morris Adjmi Architects 61 Main St. Sayreville, NJ 08872 Phone: 732-432-5757 Fax: 732-432-5717	MEP/FP: ABS Engineering 39 West 29th Street, Suite 304 New York, NY 10001 Phone: 212-317-2361	ACOUSTICAL: Longman Lindsey 1410 Broadway, Suite 508 New York, NY 10018 Phone: 212-315-6400
STRUCTURAL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 10001 Phone: 212-324-6300 Fax: 212-324-6310	ENVELOPE: SGH (Simpson Gumpertz & Heger) 550 Seventh Avenue, 10th Floor New York, NY 10018 Phone: 212-271-7000 Fax: 212-271-0111	FILING REPRESENTATIVE: Design 2147 LTD. 52 Diamond Street Brooklyn, NY 11222 Phone: 718-883-6940 Fax: 718-883-8510

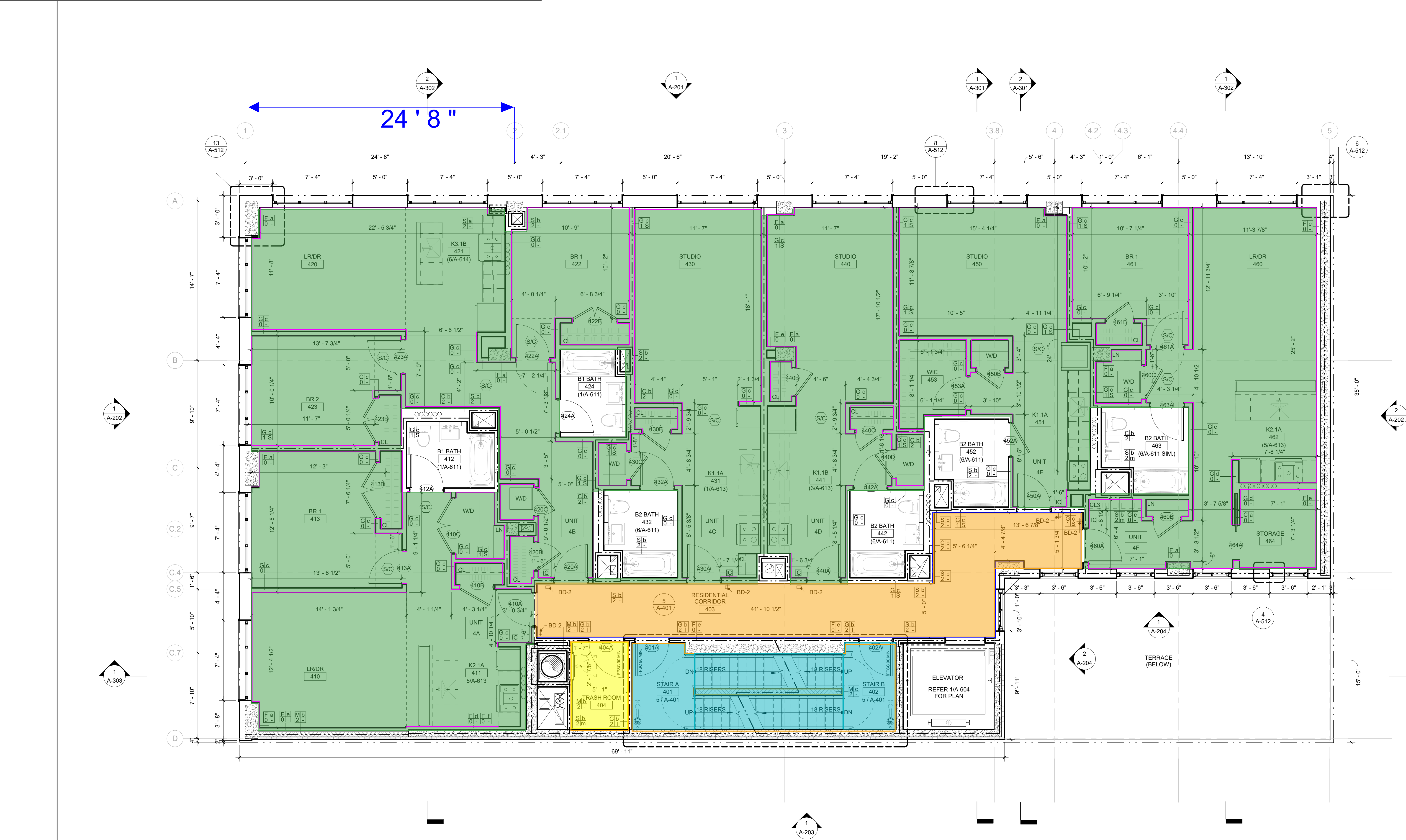
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017
SCALE: 1/4" = 1'-0"
3RD FLOOR PLAN

A-104.00
MA PROJECT NO 1538 SHEET 39 OF 67
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	Floor Sealed Concrete	175.32 sf
	Painted Base - PT-03	901.93 lf
	Resin Flooring - RF-01	40.40 sf
	Rubber Base - RB-01	123.69 lf
	Rubber Base - RB-02	121.08 lf
	Vinyl Floor - VF-01	282.54 sf
	Wood Floor - WF-01	3,150.80 sf



1 4TH FLOOR PLAN
1/4" = 1'-0"

NOTES	
1.	SEE G-015 FOR SYMBOLS
2.	SEE A-801 FOR PARTITION SCHEDULE
3.	SEE A-802 FOR DOOR SCHEDULE
6.	ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
7.	TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED
8.	TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED
1 HR RATED PARTITION	
2 HR RATED PARTITION	
3 HR RATED PARTITION	
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE DETECTOR
	WALL MOUNTED EXIT SIGN
	RESIDENTIAL UNIT INTERCOM

PLAN NOTES	
1.	THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1
2.	WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.
3.	ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.
4.	ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.27 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. (BC 1007.4)
5.	ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1)
6.	STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE DOOR SCHEDULE.
7.	AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)
8.	STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1) THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)
9.	ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2
10.	A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)
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14.	WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER, FROM ADJACENT OCCUPANCIES, FROM PUBLIC OR SERVICE AREAS, FROM STAIRS OR FROM MECHANICAL EQUIPMENT SPACES OR ELEVATOR OR OTHER SHAFTS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) FOR AIR BORNE NOISE OF NOT LESS THAN 50 BASED UPON LABORATORY MEASUREMENTS MADE IN ACCORDANCE WITH ASTM E 90. DWELLING UNIT ENTRANCE DOORS SHALL BE INSTALLED OF AN ASSEMBLY HAVING AN STC OF NOT LESS THAN 30. ALL PENETRATIONS SHALL BE SEALED. (BC 107.3)
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16.	DOORS AND DOORWAYS AT ENTRANCE(S) TO ACCESSIBLE UNITS AND TYPE B-NYC UNITS INCLUDING HARDWARE, SHALL COMPLY WITH SECTION 404 OF ICC A117.1. DOORS AND DOORWAYS AT TYPE B UNITS SHALL COMPLY WITH SECTION 1003.5 OF ICC A117.1.
17.	ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-6" ABOVE THE TERRACE DECK FINISHED FLOOR
18.	REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).

625 DRIGGS

625 Driggs Avenue,
Brooklyn NY

MA Morris Adjmi Architects
www.ma.com

10/06/2017 BID SET
10/28/2016 DESIGN DEVELOPMENT
05/13/2016 SCHEMATIC DESIGN

REV NO	DATE	ISSUE
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BID SET

OWNER/CLIENT: Redsky Capital 3 Hope Street Brooklyn, NY 11211 Phone: 718-366-1800 Fax: 718-366-1890	CIVIL: McLaren Engineering Group 131 West 35th Street, 4th Fl. Brooklyn, NY 11211 Phone: 212-324-6300 Fax: 212-324-6310
ARCHITECT: Morris Adjmi Architects 61 Main St. New York, NY 10001 Phone: 212-882-2020 Fax: 212-674-4511	ELEVATOR: VDA/ Van Deusen & Associates) 120 Eagle Rock Avenue, Suite 120 East Hanover, NJ 07936 Phone: 973-994-9220 Fax: 973-994-2538
MEP/FP: ABS Engineering 39 West 29th Street, Suite 304 New York, NY 10001 Phone: 212-317-2361	ACOUSTICAL: Longman Lindsey 1410 Broadway, Suite 508 New York, NY 10018 Phone: 212-315-6400
STRUCTURAL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 10001 Phone: 212-324-6300 Fax: 212-324-6310	ENVELOPE: SGH (Simpson Gumpertz & Heger) 550 Seventh Avenue, 10th Floor New York, NY 10018 Phone: 212-271-7000 Fax: 212-271-0111
GEOTECHNICAL: Carlin-Simpson & Associates 61 Main St. Sayreville, NJ 08872 Phone: 732-432-5757 Fax: 732-432-5717	FILING REPRESENTATIVE: Design 2147 LTD. 52 Diamond Street Brooklyn, NY 11222 Phone: 718-883-6940 Fax: 718-883-8510

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017
SCALE: 1/4" = 1'-0"
4' 2' 0' 2' 0' 8'

4TH FLOOR PLAN

A-105.00
MA PROJECT NO 1538 SHEET 40 OF 67
© 2017 MA ARCHITECTS

	Floor Sealed Concrete	177.91 sf
	Painted Base - PT-03	870.87 lf
	Resin Flooring - RF-01	40.39 sf
	Rubber Base - RB-01	123.32 lf
	Rubber Base - RB-02	123.08 lf
	Vinyl Floor - VF-01	278.22 sf
	Wood Floor - WF-01	3,128.27 sf

625 DRIGGS

625 Driggs Avenue,
Brooklyn NY

MA Morris Adjmi Architects
www.ma.com

NOTES

- SEE G-015 FOR SYMBOLS
- SEE A-801 FOR PARTITION SCHEDULE
- SEE A-802 FOR DOOR SCHEDULE
- ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
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- 1 HR RATED PARTITION
- 2 HR RATED PARTITION
- 3 HR RATED PARTITION
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR
- WALL MOUNTED EXIT SIGN
- RESIDENTIAL UNIT INTERCOM

PLAN NOTES

- THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1
- WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 / C1629 M.
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- AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)
- STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1). THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)
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- REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).

10/06/2017 BID SET
10/28/2016 DESIGN DEVELOPMENT
05/13/2016 SCHEMATIC DESIGN

REV NO DATE ISSUE

BID SET

OWNER/CLIENT:
Redsky Capital
3 Hope Street
Brooklyn, NY 11211
Phone: 718-366-1800
Fax: 718-366-1899

CIVIL:
McLaren Engineering Group
131 West 35th Street, 4th Fl.
New York, NY 10001
Phone: 212-324-6300
Fax: 212-324-6310

ARCHITECT:
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61 Main St.
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Phone: 732-432-5757
Fax: 732-432-5717

ELEVATOR:
VDA/Van Deusen & Associates)
120 Eagle Rock Avenue, Suite 120
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Phone: 973-994-9220
Fax: 973-994-2538

MEP/FP:
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39 West 29th Street, Suite 304
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Phone: 212-317-2361

ACoustical:
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Phone: 212-315-6400

STRUCTURAL:
McLaren Engineering Group
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New York, NY 10001
Phone: 212-324-6300
Fax: 212-324-6310

ENVELOPE:
SGH (Simpson Gumpertz & Heger)
550 Seventh Avenue, 10th Floor
New York, NY 10018
Phone: 212-271-7000
Fax: 212-271-0111

GEOTECHNICAL:
Carlin-Simpson & Associates
61 Main St.
Sayreville, NJ 08872
Phone: 732-432-5757
Fax: 732-432-5717

FILING REPRESENTATIVE:
Design 2147 LTD.
52 Diamond Street
Brooklyn, NY 11222
Phone: 718-883-6340
Fax: 718-883-8510

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017
SCALE: 1/4" = 1'-0"
4' 2' 0' 2' 0' 8'

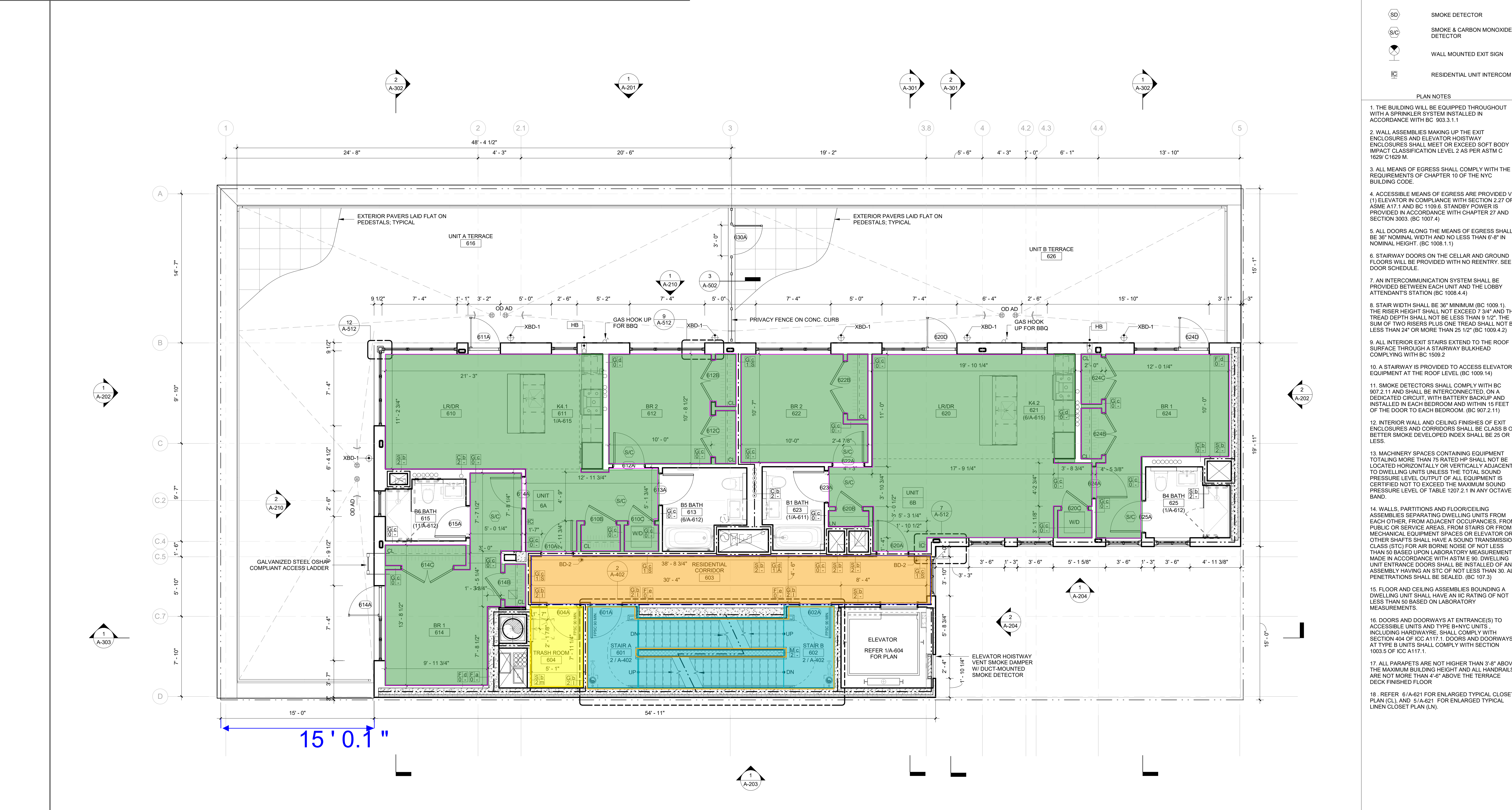
5TH FLOOR PLAN

A-106.00
MA PROJECT NO 1538 SHEET 41 OF 67

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05 FLOOR PLAN

	Floor Sealed Concrete	179.15 sf
	Painted Base - PT-03	460.91 lf
	Resin Flooring - RF-01	40.70 sf
	Rubber Base - RB-01	87.71 lf
	Rubber Base - RB-02	123.36 lf
	Vinyl Floor - VF-01	184.47 sf
	Wood Floor - WF-01	1,382.91 sf



06 PENTHOUSE PLAN
1/4" = 1'-0"

NOTES

1. SEE G-015 FOR SYMBOLS

2. SEE A-801 FOR PARTITION SCHEDULE

3. SEE A-802 FOR DOOR SCHEDULE

6. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

7. TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED

8. TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED

1 HR RATED PARTITION

2 HR RATED PARTITION

3 HR RATED PARTITION

SMOKE DETECTOR

SMOKE & CARBON MONOXIDE DETECTOR

WALL MOUNTED EXIT SIGN

RESIDENTIAL UNIT INTERCOM

PLAN NOTES

1. THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1

2. WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.

3. ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.

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9. ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2

10. A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)

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17. ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-6" ABOVE THE TERRACE DECK FINISHED FLOOR

18. REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).

OWNER/CLIENT:
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FILING REPRESENTATIVE:
Design 2147 LTD.
62 Diamond Street
Brooklyn, NY 11222
Phone: 718-883-9340
Fax: 718-883-8510

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017

SCALE: 1/4" = 1'-0"

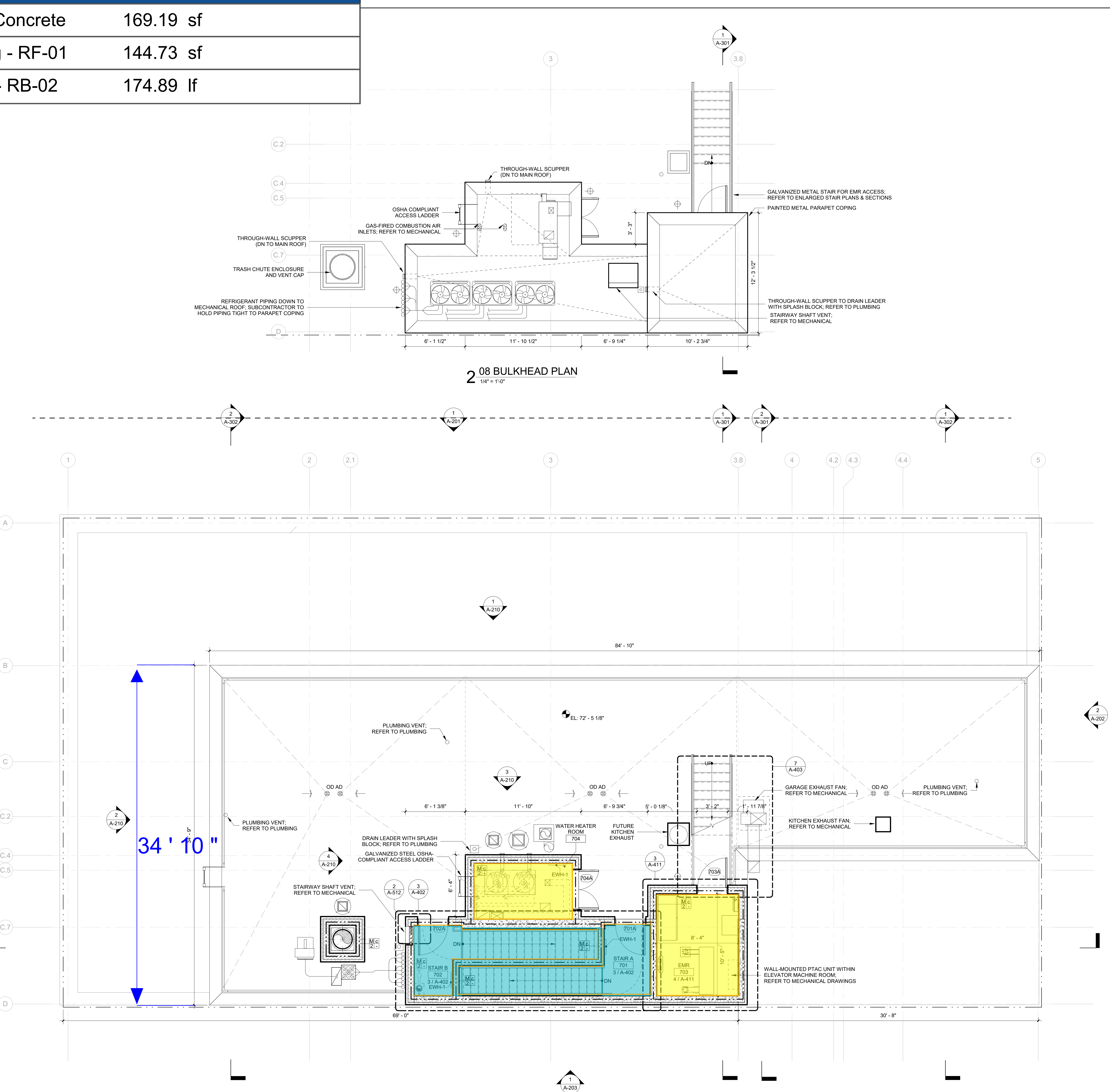
6TH FLOOR PLAN

A-107.00

MA PROJECT NO 1538 SHEET 42 OF 67

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	Floor Sealed Concrete	169.19 sf
	Resin Flooring - RF-01	144.73 sf
	Rubber Base - RB-02	174.89 lf



1 07 MECHANICAL ROOF PLAN
1/4" = 1'-0"

NOTES

1. SEE G-015 FOR SYMBOLS

2. SEE A-801 FOR PARTITION SCHEDULE

3. SEE A-802 FOR DOOR SCHEDULE

6. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

7. TYPICAL APARTMENT NON-RATED PARTITIONS, UNLESS OTHERWISE NOTED

8. TYPICAL APARTMENT 1-HR DEMISING WALLS, UNLESS OTHERWISE NOTED

1 HR RATED PARTITION

2 HR RATED PARTITION

3 HR RATED PARTITION

SMOKE DETECTOR

SMOKE & CARBON MONOXIDE DETECTOR

WALL MOUNTED EXIT SIGN

RESIDENTIAL UNIT INTERCOM

PLAN NOTES

1. THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.3.1.1

2. WALL ASSEMBLIES MAKING UP THE EXIT ENCLOSURES AND ELEVATOR HOISTWAY ENCLOSURES SHALL MEET OR EXCEED SOFT BODY IMPACT CLASSIFICATION LEVEL 2 AS PER ASTM C 1629 C1629 M.

3. ALL MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE NYC BUILDING CODE.

4. ACCESSIBLE MEANS OF EGRESS ARE PROVIDED VIA (1) ELEVATOR IN COMPLIANCE WITH SECTION 2.27 OF ASME A17.1 AND BC 1109.6. STANDBY POWER IS PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. (BC 1007.4)

5. ALL DOORS ALONG THE MEANS OF EGRESS SHALL BE 36" NOMINAL WIDTH AND NO LESS THAN 6'-8" IN NOMINAL HEIGHT. (BC 1008.1.1)

6. STAIRWAY DOORS ON THE CELLAR AND GROUND FLOORS WILL BE PROVIDED WITH NO REENTRY. SEE DOOR SCHEDULE.

7. AN INTERCOMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN EACH UNIT AND THE LOBBY ATTENDANT'S STATION (BC 1008.4.4)

8. STAIR WIDTH SHALL BE 36" MINIMUM (BC 1009.1) THE RISER HEIGHT SHALL NOT EXCEED 7 3/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 9 1/2". THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" OR MORE THAN 25 1/2" (BC 1009.4.2)

9. ALL INTERIOR EXIT STAIRS EXTEND TO THE ROOF SURFACE THROUGH A STAIRWAY BULKHEAD COMPLYING WITH BC 1509.2

10. A STAIRWAY IS PROVIDED TO ACCESS ELEVATOR EQUIPMENT AT THE ROOF LEVEL (BC 1009.14)

11. SMOKE DETECTORS SHALL COMPLY WITH BC 907.2.11 AND SHALL BE INTERCONNECTED, ON A DEDICATED CIRCUIT, WITH BATTERY BACKUP AND INSTALLED IN EACH BEDROOM AND WITHIN 15 FEET OF THE DOOR TO EACH BEDROOM. (BC 907.2.11)

12. INTERIOR WALL AND CEILING FINISHES OF EXIT ENCLOSURES AND CORRIDORS SHALL BE CLASS B OR BETTER SMOKE DEVELOPED INDEX SHALL BE 25 OR LESS.

13. MACHINERY SPACES CONTAINING EQUIPMENT TOTALING MORE THAN 75 RATED HP SHALL NOT BE LOCATED HORIZONTALLY OR VERTICALLY ADJACENT TO DWELLING UNITS UNLESS THE TOTAL SOUND PRESSURE LEVEL OUTPUT OF ALL EQUIPMENT IS CERTIFIED NOT TO EXCEED THE MAXIMUM SOUND PRESSURE LEVEL OF TABLE 1207.2.1 IN ANY OCTAVE BAND.

14. WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER, FROM ADJACENT OCCUPANCIES, FROM PUBLIC OR SERVICE AREAS, FROM STAIRS OR FROM MECHANICAL EQUIPMENT SPACES OR ELEVATOR OR OTHER SHAFTS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) FOR AIR BORNE NOISE OF NOT LESS THAN 50 BASED UPON LABORATORY MEASUREMENTS MADE IN ACCORDANCE WITH ASTM E 90. DWELLING UNIT ENTRANCE DOORS SHALL BE INSTALLED OF AN ASSEMBLY HAVING AN STC OF NOT LESS THAN 30. ALL PENETRATIONS SHALL BE SEALED. (BC 107.3)

15. FLOOR AND CEILING ASSEMBLIES BOUNDING A DWELLING UNIT SHALL HAVE AN IC RATING OF NOT LESS THAN 50 BASED ON LABORATORY MEASUREMENTS.

16. DOORS AND DOORWAYS AT ENTRANCE(S) TO ACCESSIBLE UNITS AND TYPE B-NYC UNITS INCLUDING HARDWAYRE, SHALL COMPLY WITH SECTION 404 OF CC A117.1. DOORS AND DOORWAYS AT TYPE B UNITS SHALL COMPLY WITH SECTION 1003.5 OF ICC A117.1.

17. ALL PARAPETS ARE NOT HIGHER THAN 3'-8" ABOVE THE MAXIMUM BUILDING HEIGHT AND ALL HANDRAILS ARE NOT MORE THAN 4'-0" ABOVE THE TERRACE DECK FINISHED FLOOR

18. REFER 6/A-621 FOR ENLARGED TYPICAL CLOSET PLAN (CL) AND 5/A-621 FOR ENLARGED TYPICAL LINEN CLOSET PLAN (LN).

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Phone: 212-315-6400

ENVELOPE:
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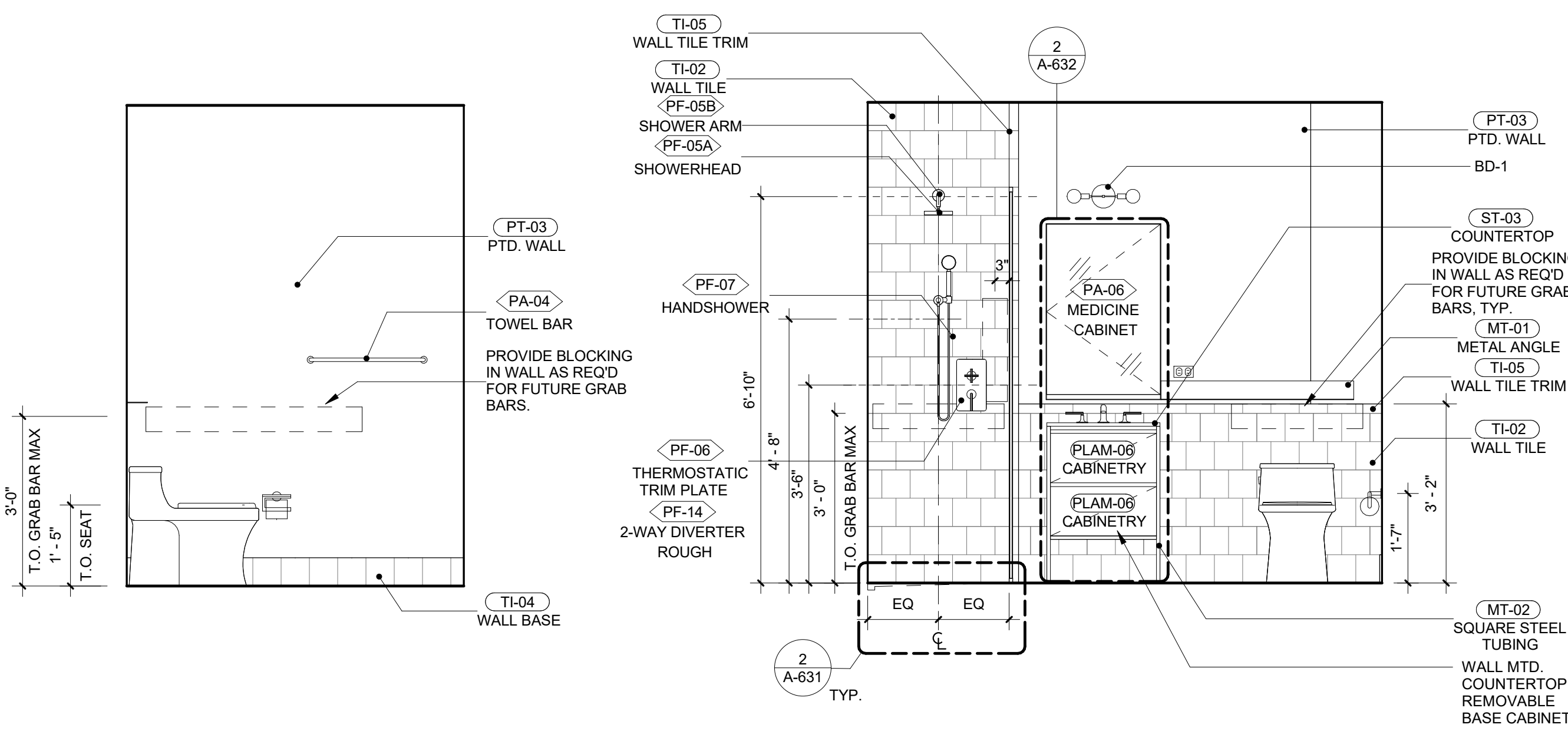
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Brooklyn, NY 11222
Phone: 718-883-9340
Fax: 718-883-8510

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DATE: 06 OCT 2017
SCALE: 1/4" = 1'-0"

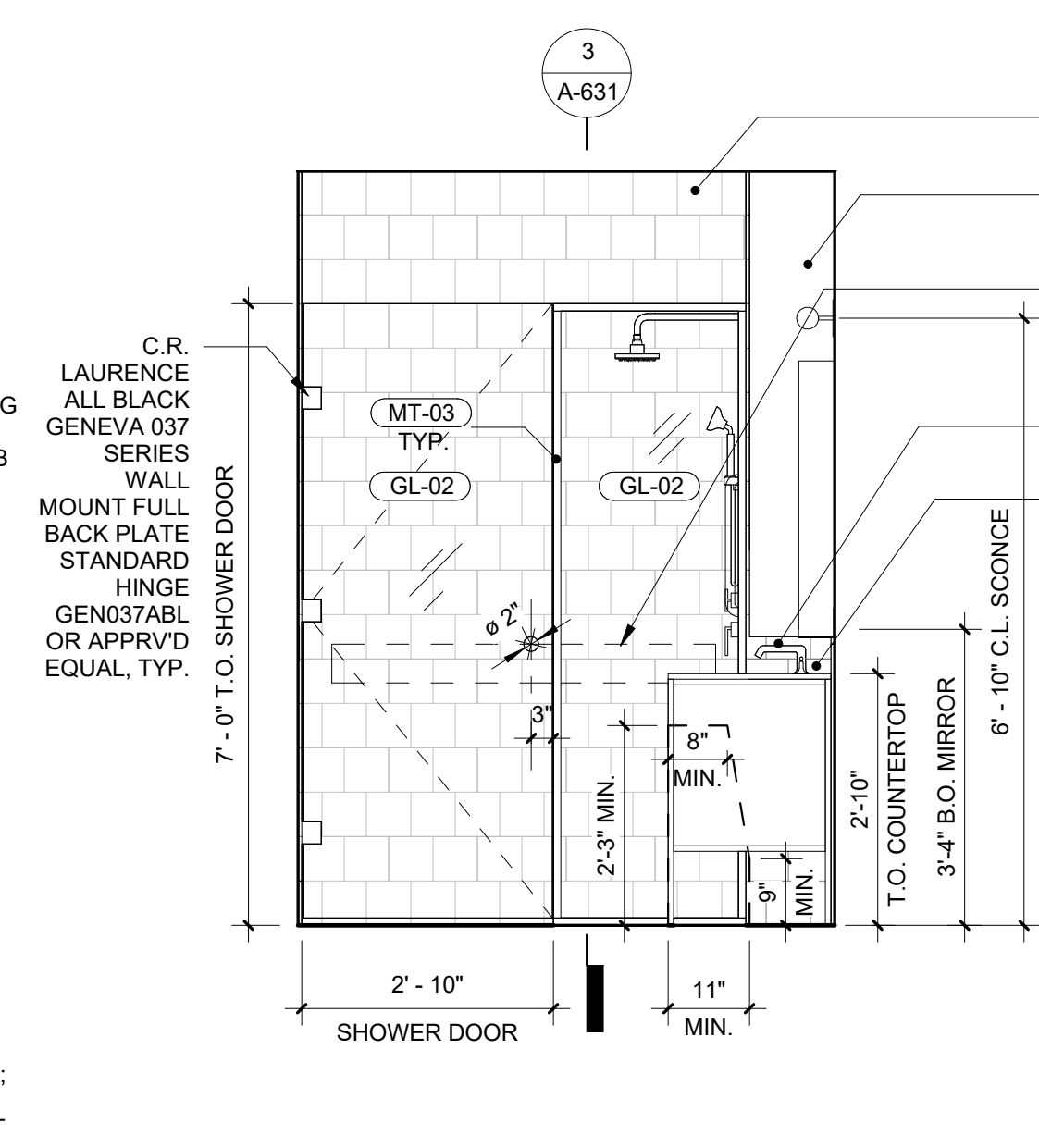
MECHANICAL ROOF AND BULKHEAD PLAN

A-108.00
MA PROJECT NO.1538 SHEET 43 OF 67
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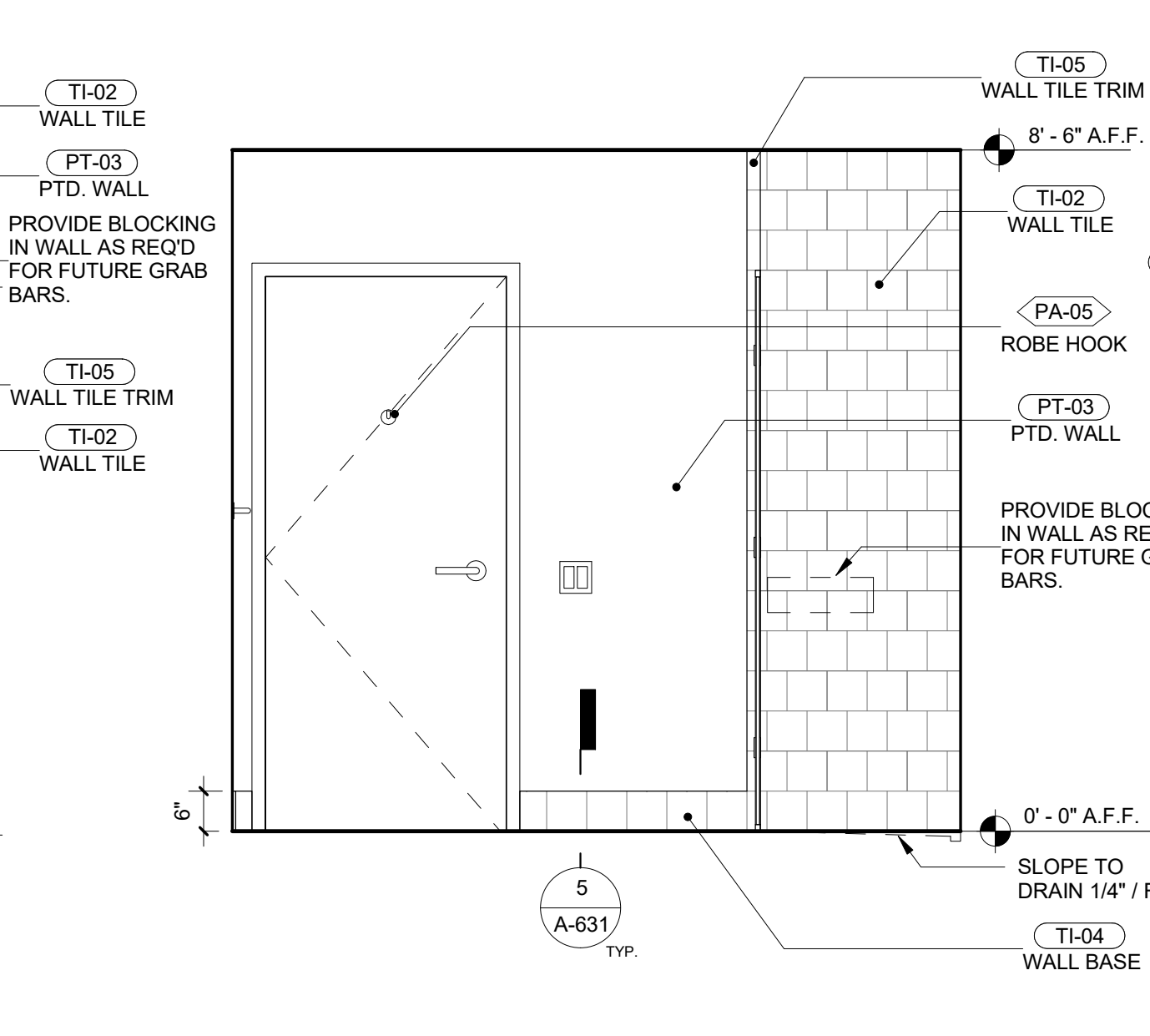


15 ENLARGED B3 ELEV 4
1/2" = 1'-0"

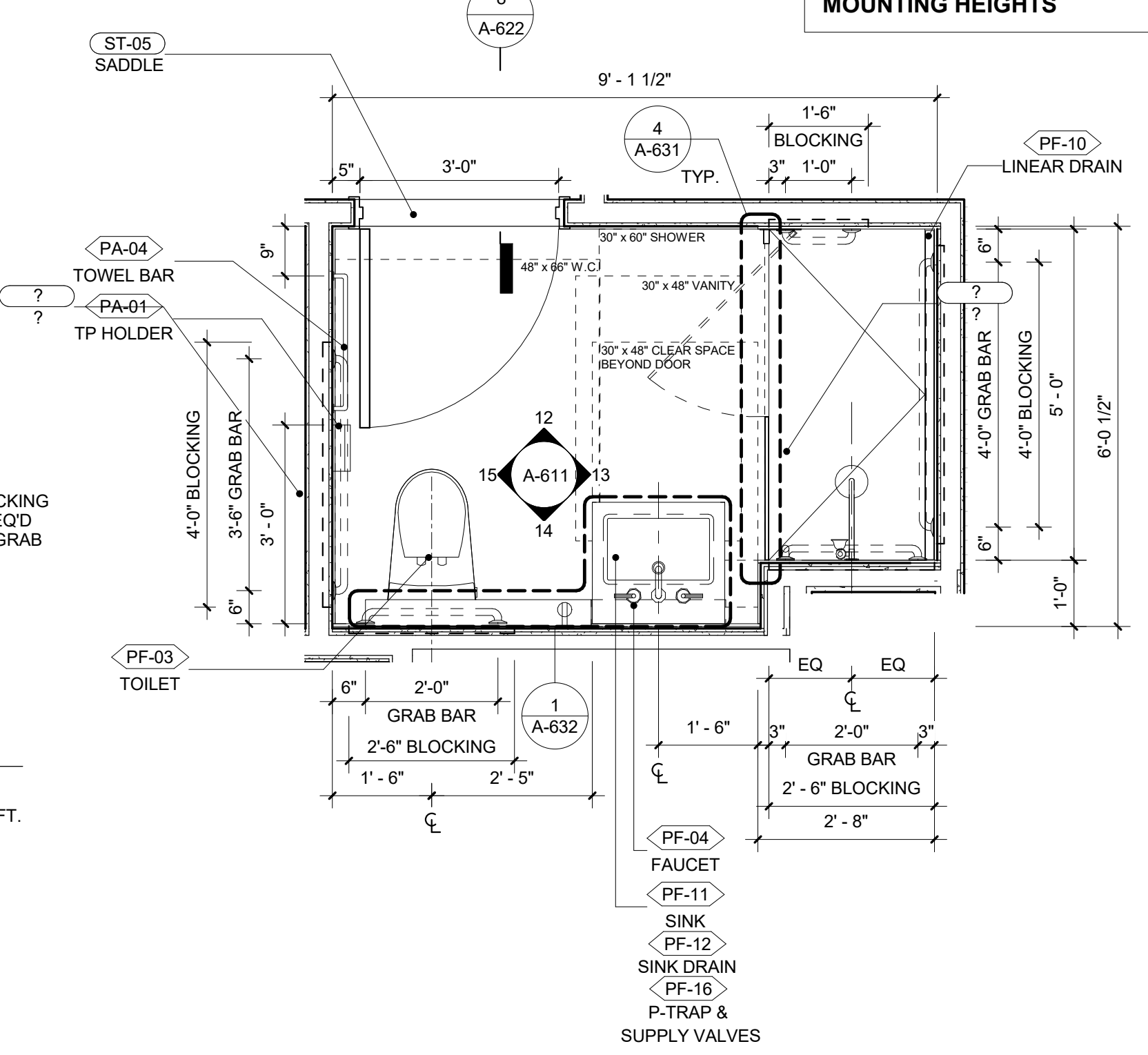
14 ENLARGED B3 ELEV 3
1/2" = 1'-0"



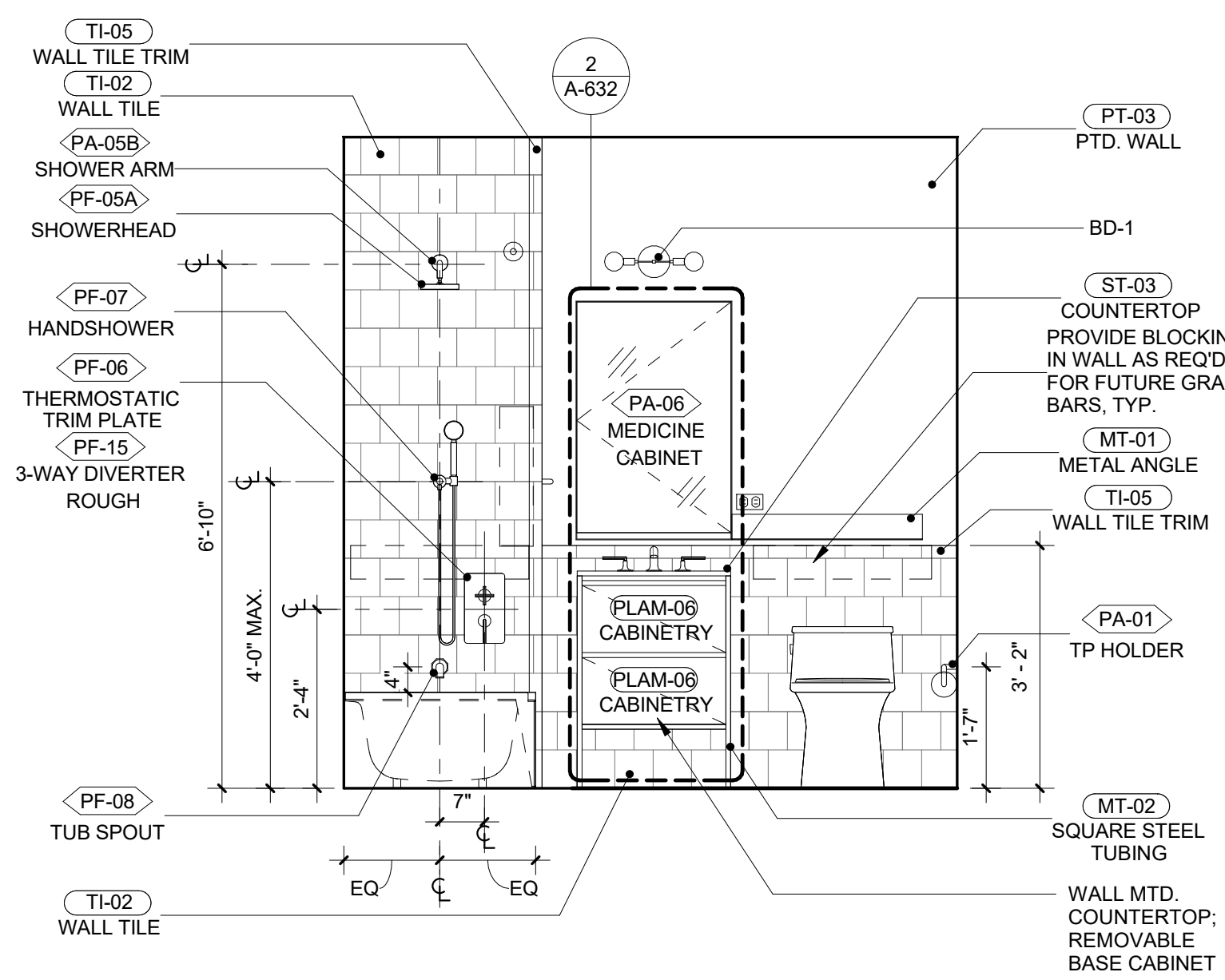
13 ENLARGED B3 ELEV 2
1/2" = 1'-0"



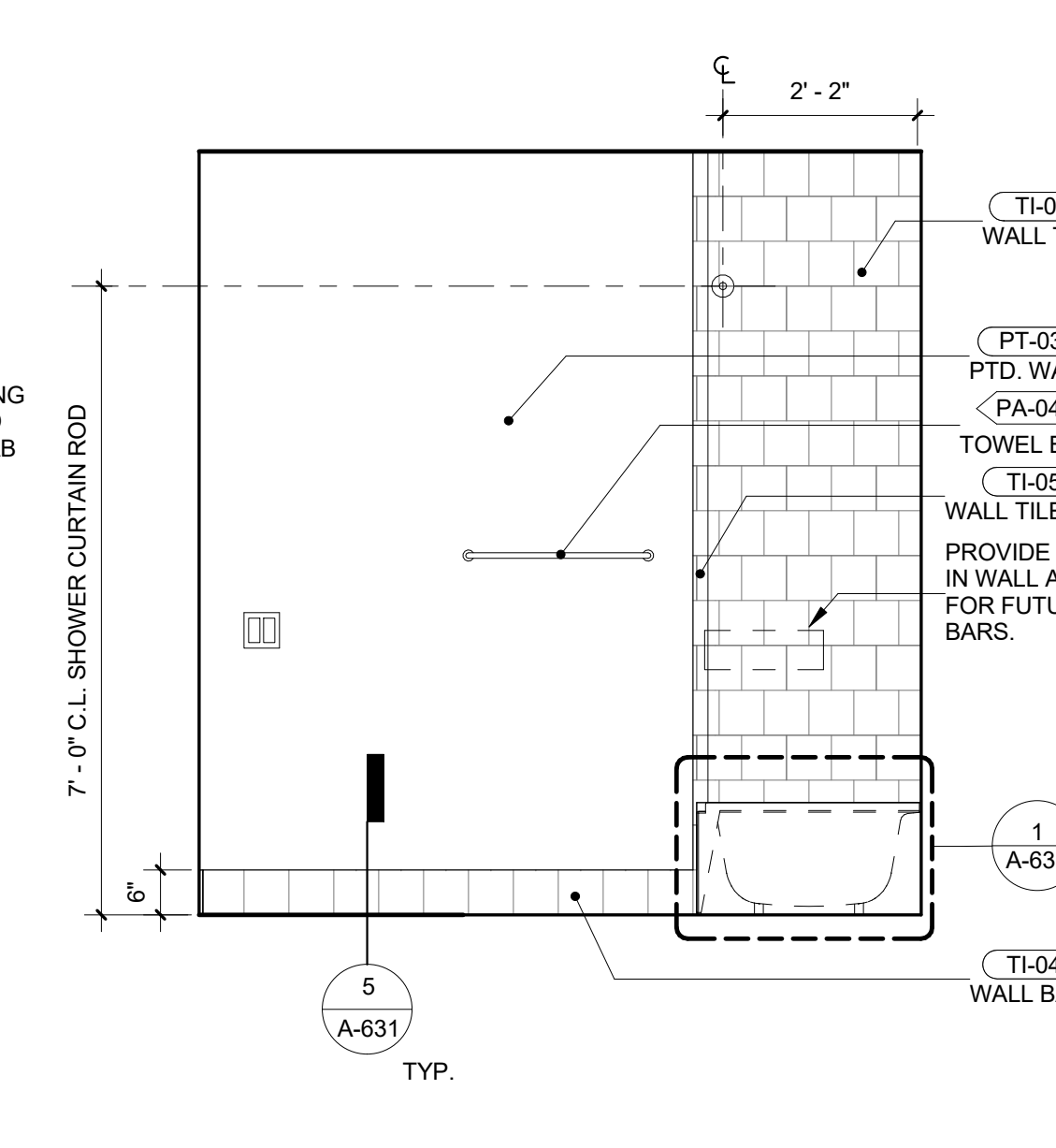
12 ENLARGED B3 ELEV 1
1/2" = 1'-0"



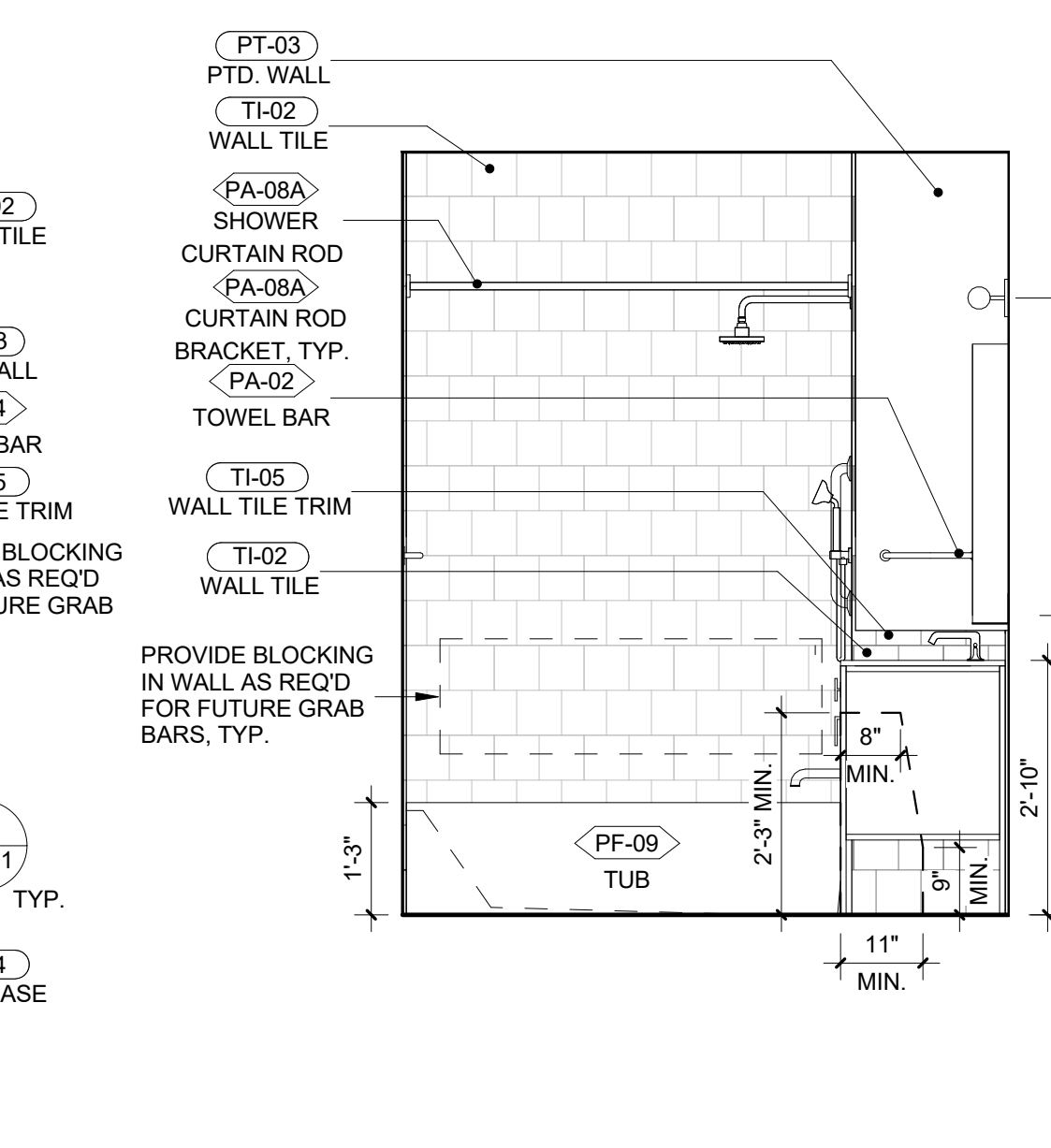
11 ENLARGED BATHROOM PLAN - B3
1/2" = 1'-0"
TYPE B+NYC BATHROOM IN ACCORDANCE WITH APPENDIX P
MARKET RATE UNITS: 3B & 5B



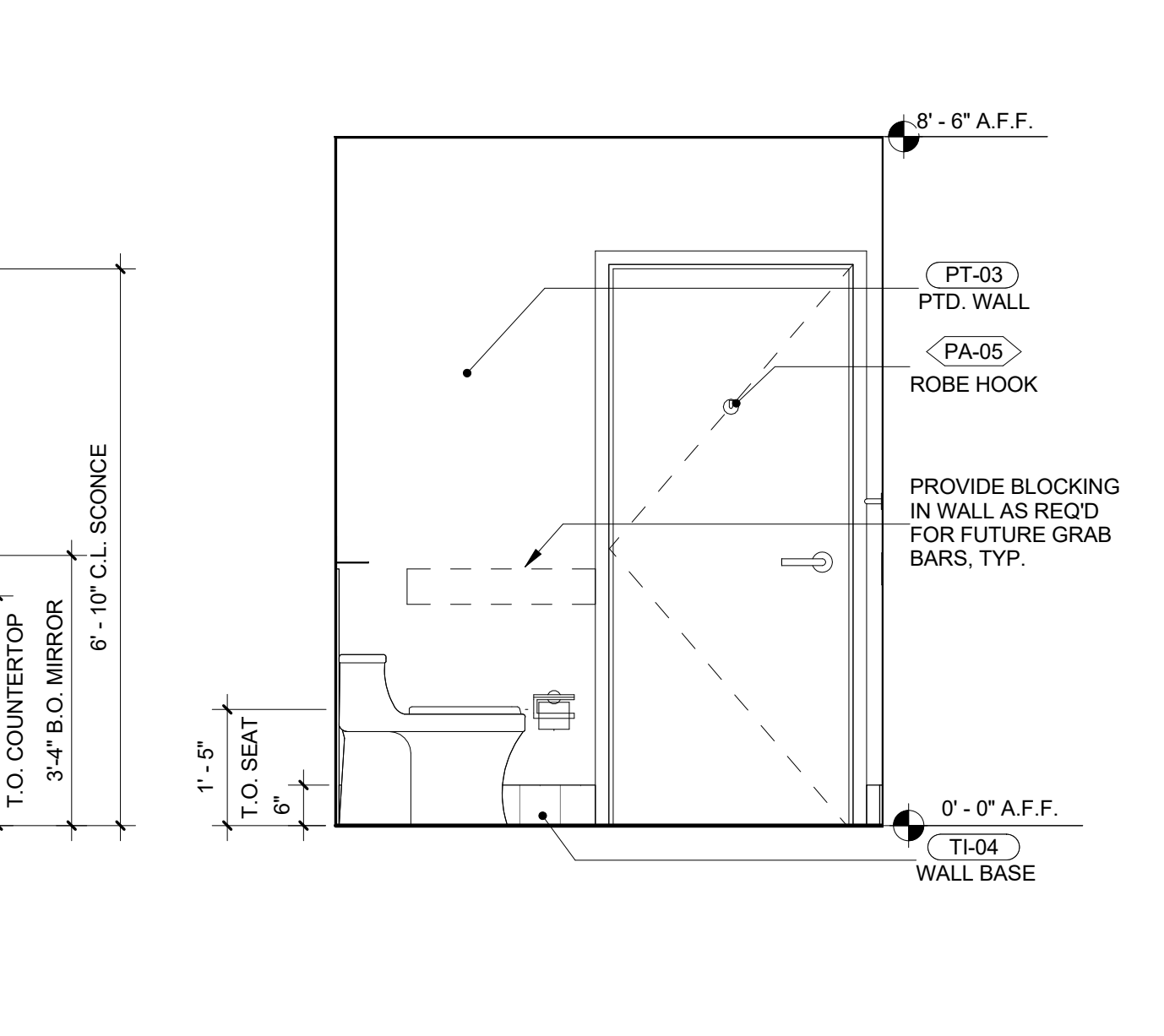
10 ENLARGED B2 ELEV 4
1/2" = 1'-0"



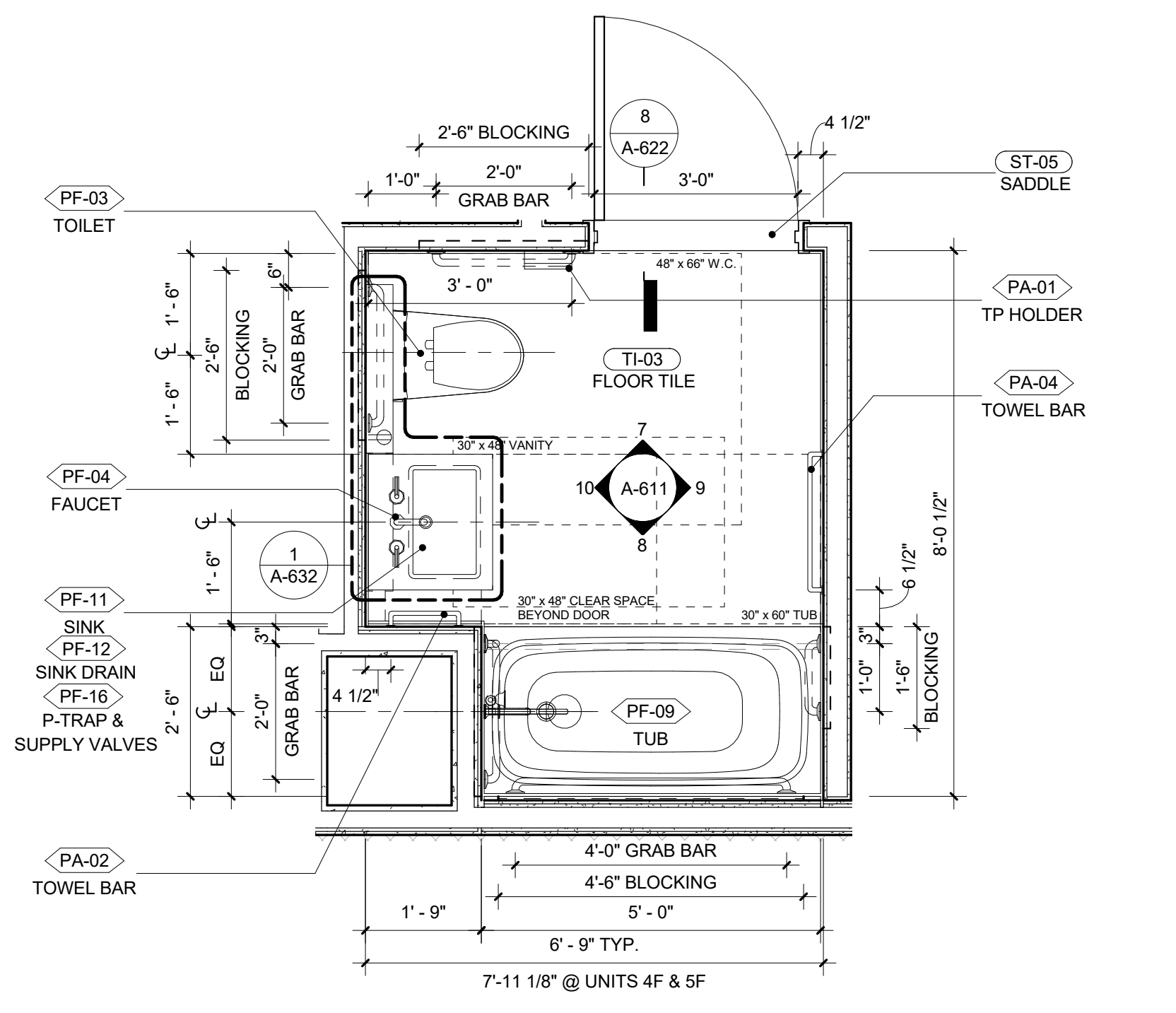
9 ENLARGED B2 ELEV 3
1/2" = 1'-0"



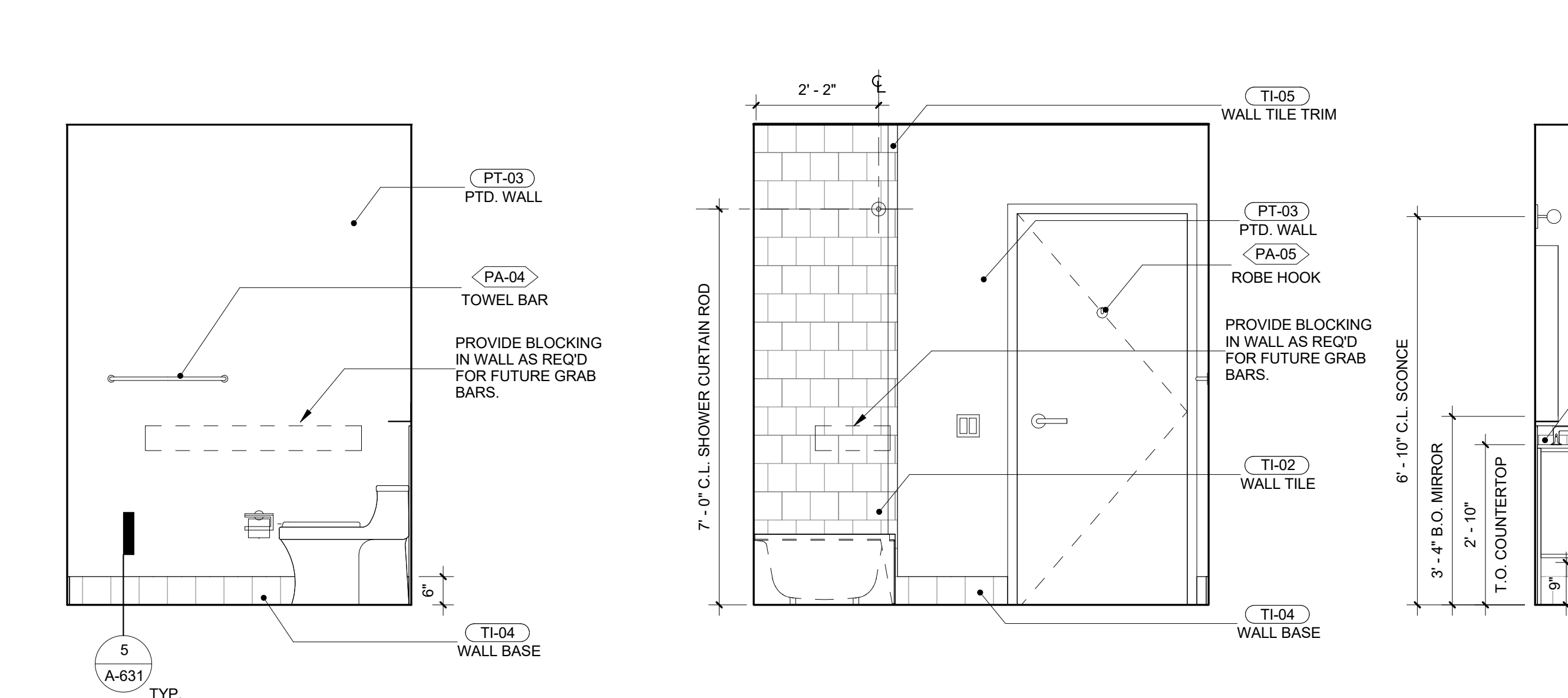
8 ENLARGED B2 ELEV 2
1/2" = 1'-0"



7 ENLARGED B2 ELEV 1
1/2" = 1'-0"

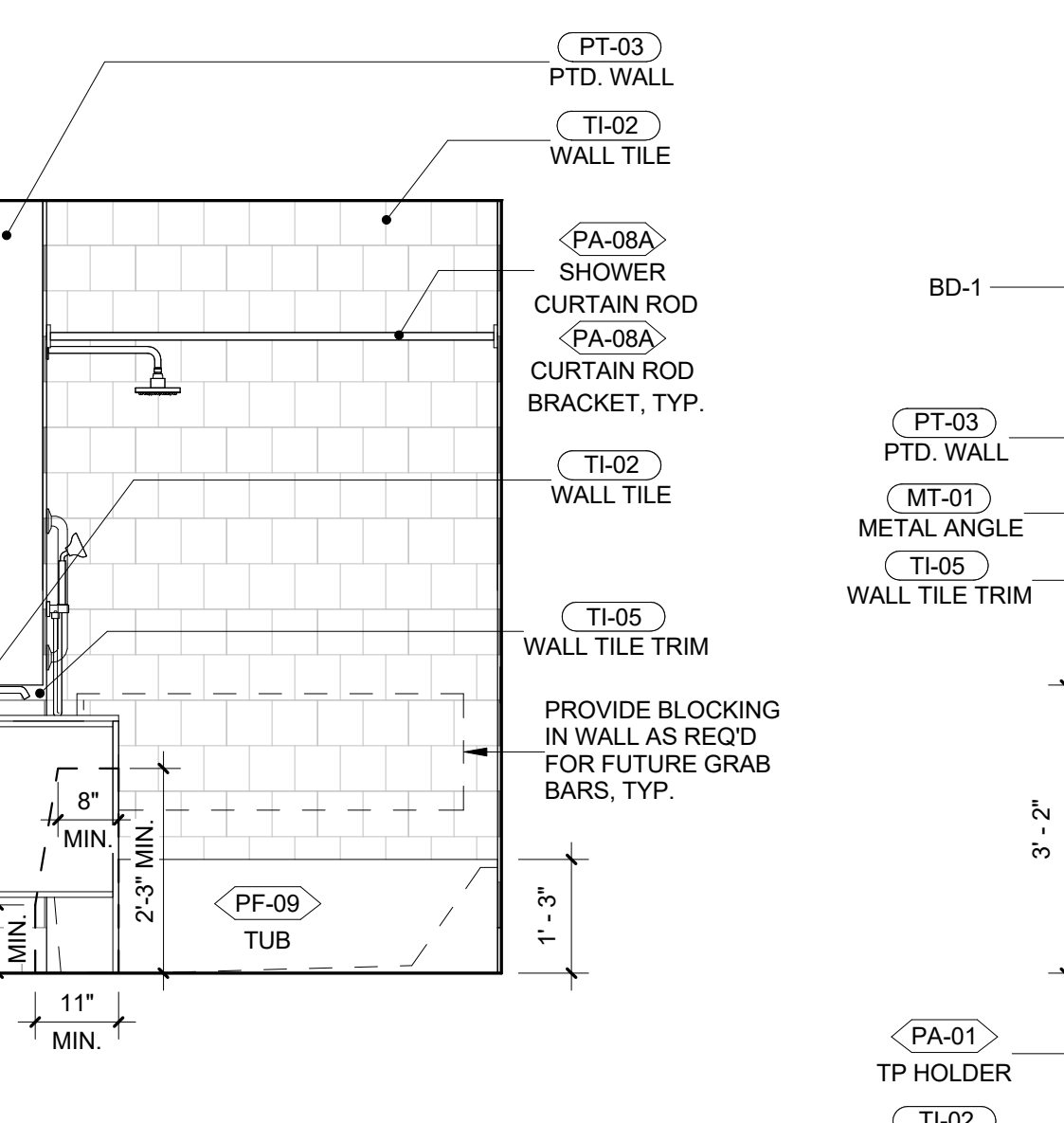


6 ENLARGED BATHROOM PLAN - B2
1/2" = 1'-0"
TYPE B+NYC BATHROOM IN ACCORDANCE WITH APPENDIX P
MARKET RATE UNITS: 3C, 3D, 4C, 4E, 4F, 5C, 5D, 5E, & 5F
INCLUSIONARY HOUSING UNITS: 3E & 4D

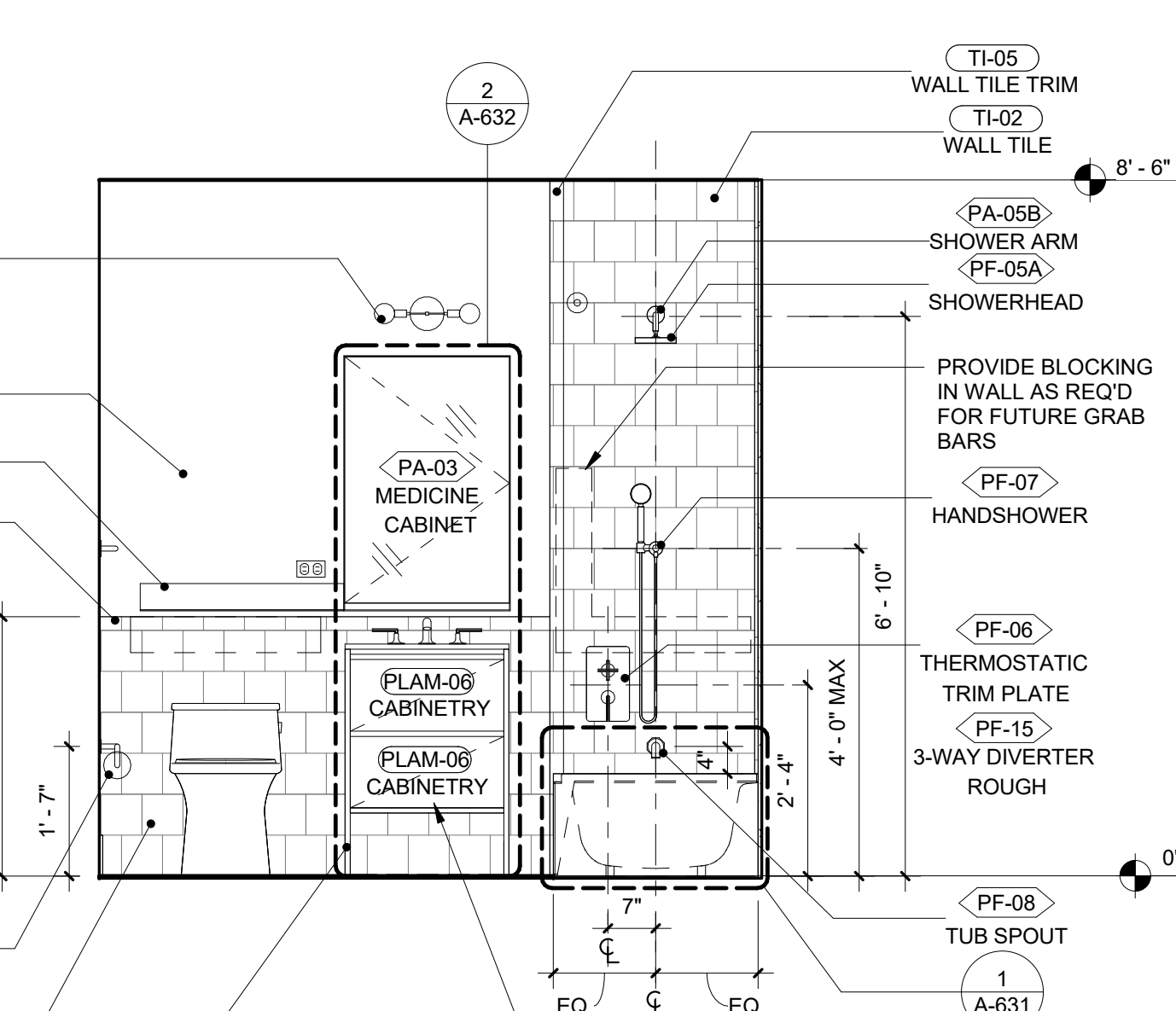


5 ENLARGED B1 ELEV 4
1/2" = 1'-0"

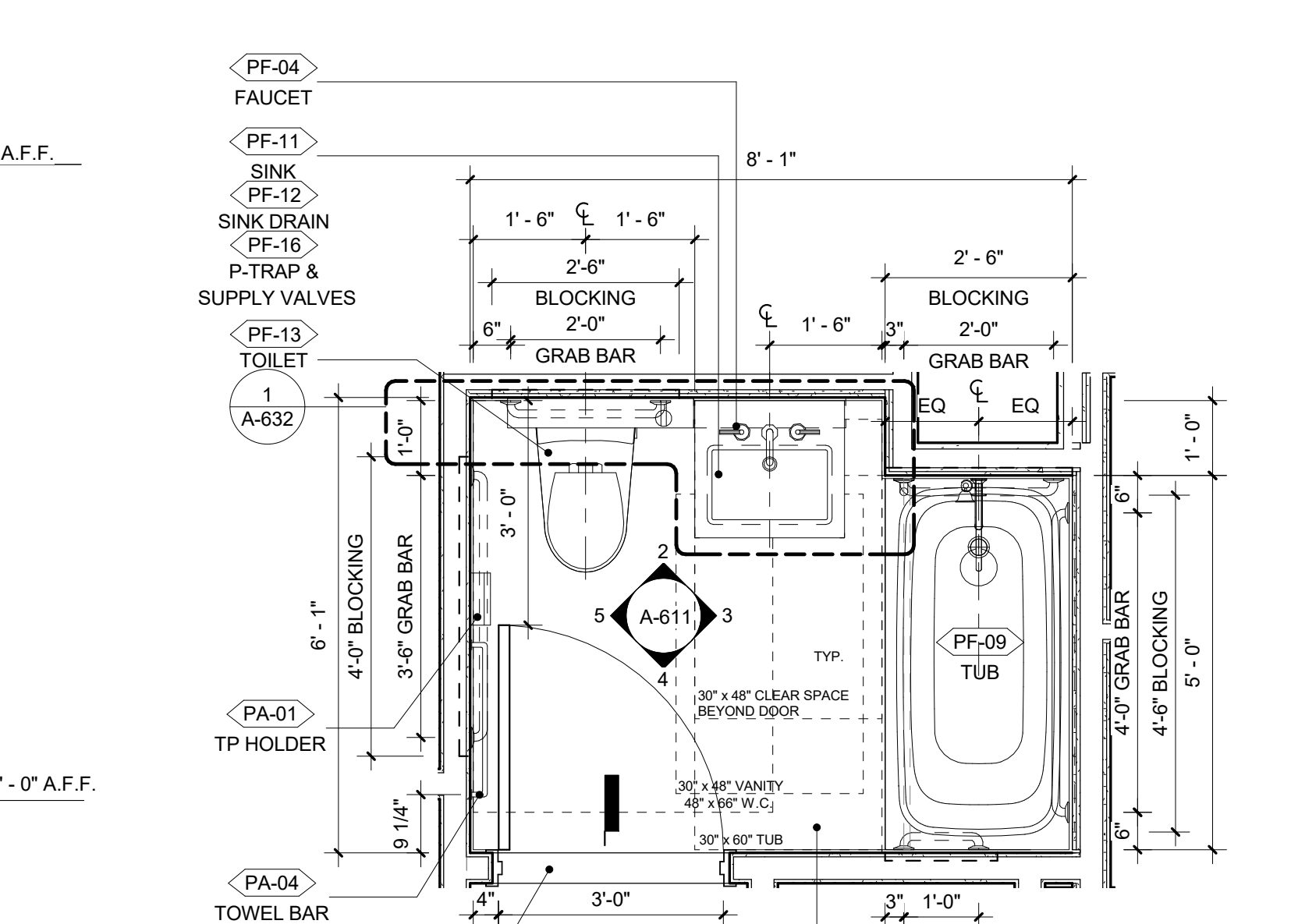
4 ENLARGED B1 ELEV 3
1/2" = 1'-0"



3 ENLARGED B1 ELEV 2
1/2" = 1'-0"



2 ENLARGED B1 ELEV 1
1/2" = 1'-0"



1 ENLARGED BATHROOM PLAN - B1
1/2" = 1'-0"
TYPE B+NYC BATHROOM IN ACCORDANCE WITH APPENDIX P
MARKET RATE UNITS: 3A, 3B, 4A, 5B, & 6B
INCLUSIONARY HOUSING UNITS: 4B & 5A

Bathroom all receive tile floor and base.
Exclude from scope of work.

625 DRIGGS

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Brooklyn NY

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www.ma.com

10/06/2017 BID SET
10/28/2016 DESIGN DEVELOPMENT

BID SET

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DATE: 06 OCT 2017

SCALE: 1/2" = 1'-0"

32 16 8 4 0 8 16 32 64

ENLARGED BATHROOM
PLANS & ELEVATIONS

A-611.00
MA PROJECT NO:1538 SHEET 59 OF 67

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451	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
452	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
453	WIC	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
460	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
461	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
462	K2.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
463	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
464	STORAGE	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
FIFTH FLOOR						
501	STAIR A	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
502	STAIR B	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
503	RESIDENTIAL CORRIDOR	VF-01	R8-01	PT-07 BELOW WAINSCOT LEVEL, PT-08 ABOVE WAINSCOT LEVEL	PT-05	DOORS & FRAMES PT-06, SADDLE ST-04
504	TRASH ROOM	RF-01	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
510	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
511	K2.1B	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
512	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
513	B3 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
520	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
521	K3.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
522	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
523	B3 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
524	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
525	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
530	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
531	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
532	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
540	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
541	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
542	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
550	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
551	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
552	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
553	WIC	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
560	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
561	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
562	K2.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
563	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
564	STORAGE	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
SIXTH FLOOR						
601	STAIR A	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
602	STAIR B	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
603	RESIDENTIAL CORRIDOR	VF-01	R8-01	PT-07 BELOW WAINSCOT LEVEL, PT-08 ABOVE WAINSCOT LEVEL	PT-05	DOORS & FRAMES PT-06, SADDLE ST-04
604	TRASH ROOM	RF-01	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
610	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
611	K4.1	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
612	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
613	B5 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
614	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
615	B6 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
616	UNIT A TERRACE	XCO-01	N/A	N/A	N/A	N/A
620	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04
621	K4.2	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES				
622	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
623	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
624	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03
625	B4 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES				
626	UNIT B TERRACE	XCO-01	N/A	N/A	N/A	N/A
MECHANICAL ROOF & BULKHEAD						
701	STAIR A	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
702	STAIR B	POURED CONCRETE	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
703	EMR	RF-01	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04
704	WATER HEATER ROOM	RF-01	R8-02	PT-04	PT-02	DOORS & FRAMES PT-04

ROOM FINISH SCHEDULE							
ROOM #	ROOM NAME	FLOOR	WALL BASE	WALLS	CEILING	COMMENTS	
CELLAR FLOOR							
C01	STAIR A	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C02	STAIR B	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C03	STAIR C	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C04	STAIR D	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C05	CORRIDOR	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C06	W/D ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C07	MOP SINK/ JANITOR	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C08	TENANT STORAGE ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C09	PET GROOMING ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C10	CORRIDOR	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C11	ELEC. ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C12	WATER SERVICE ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C13	GAS METER ROOM	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C14	PUMP ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C15	BIKE STORAGE ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C16	TRASH COMPACTOR ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C17	CELLAR STORAGE	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
C18	S.E.B. CLOSET	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
FIRST FLOOR							
101	STAIR A	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
102	STAIR B	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
103	STAIR D	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
104	EGERSS CORRIDOR	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
105	STAIR C	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
106	RESIDENTIAL LOBBY	TI-08, GT-01	WD-05	PT-16, ACCENT WALL PT-17	PT-15	DOORS OPENINGS WD-04 TRIM, DOORS & FRAMES PT-11, SADDLE ST-06	
107	LOBBY CORRIDOR	TI-08, GT-01	WD-05	PT-16	PT-15	DOORS OPENINGS WD-04 TRIM, DOORS & FRAMES PT-11, SADDLE ST-06	
108	LOBBY VESTIBULE	CP-01	WD-05	PT-16	PT-15	DOORS & FRAMES PT-11, SADDLE ST-06	
109	ELEVATOR LOBBY	TI-08, GT-01	WD-05	PT-16	PT-15	DOORS OPENINGS WD-04 TRIM, DOORS & FRAMES PT-11, SADDLE TO STAIR A ST-06, ELEVATOR SADDLE MT-10	
110	MAIL ROOM	TI-08, GT-01	WD-05	PT-16	PT-15	DOORS OPENINGS WD-04 TRIM, DOORS & FRAMES PT-11, SADDLE ST-06	
111	PACKAGE ROOM	RF-02	RB-02	PT-04	PT-02	DOORS & FRAMES PT-11, SADDLE ST-06	
112	MECHANIZED VEHICLE STORAGE DROP OFF ENTRANCE	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04, SADDLE ST-06	
SECOND FLOOR							
201	STAIR A	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
202	STAIR B	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
203	MECHANIZED VEHICLE STORAGE	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04, SADDLE ST-06	
204	ELEVATOR HOISTWAY	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04, SADDLE ST-06	
THIRD FLOOR							
301	STAIR A	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
302	STAIR B	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
303	RESIDENTIAL CORRIDOR	VF-01	RB-01	PT-07 BELOW WAINSCOT LEVEL, PT-08 ABOVE WAINSCOT LEVEL	PT-05	DOORS & FRAMES PT-06, SADDLE ST-04	
304	TRASH ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
305	REC ROOM	WF-02	WD-02	PT-12, ACCENT WALL PT-10	PT-09	DOORS & FRAMES PT-12, MILLWORK WD-01, BACKSPASH ST-07, COUNTERTOP ST-02, MIRROR GL-04, SADDLE ST-04	
306	OUTDOORS REC ROOM	XCO-01	N/A	N/A	N/A	N/A	
310	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
311	K2.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
312	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
313	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
320	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
321	K3.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
322	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
323	B3 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
324	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
325	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
330	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
331	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
332	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
340	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
341	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
342	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
350	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
351	K2.1B	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
352	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
353	BR 1	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
354	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
FOURTH FLOOR							
401	STAIR A	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
402	STAIR B	POURED CONCRETE	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
403	RESIDENTIAL CORRIDOR	VF-01	RB-01	PT-07 BELOW WAINSCOT LEVEL, PT-08 ABOVE WAINSCOT LEVEL	PT-05	DOORS & FRAMES PT-06, SADDLE ST-04	
404	TRASH ROOM	RF-01	RB-02	PT-04	PT-02	DOORS & FRAMES PT-04	
410	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
411	K2.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
412	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
413	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
420	LR/DR	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
421	K3.1B	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
422	BR 1	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
423	BR 2	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03	
424	B1 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
430	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
431	K1.1A	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
432	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
440	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	
441	K1.1B	REFER ENLARGED KITCHEN PLANS & ELEVATIONS FOR FINISHES					
442	B2 BATH	REFER ENLARGED BATHROOM PLANS & ELEVATIONS FOR FINISHES					
450	STUDIO	WF-01	PT-03	PT-01	PT-02	DOORS & FRAMES PT-03, SADDLE AT UNIT ENTRY ST-04	

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BID SET

PT-08	Paint	Residential Corridors - Walls (above wainscot level)	Aura Waterborne Interior Paint	Eggshell, Bunny Gray 2124-50	N/A	Benjamin Moore		
PT-09	Paint	Rec Room - Ceiling	Aura Waterborne Interior Paint	Flat, Charcoal Slate HC-178	N/A	Benjamin Moore		
PT-10	Paint	Rec Room - Accent Wall	Aura Waterborne Interior Paint	Eggshell, Charcoal Slate HC-178	N/A	Benjamin Moore		
PT-11	Paint	Lobby - Doors & Door Frames	Aura Waterborne Interior Paint	Pearl, Natural Brown 2103-10	N/A	Benjamin Moore		
PT-12	Paint	Rec Room - Doors & Frames, & Walls, U.O.N.	Aura Waterborne Interior Paint	Eggshell, Heaven 2118-70	N/A	Benjamin Moore		
PT-13	Paint	Units - Doors & Door Frame inside Bathrooms	Aura Waterborne Interior Paint	Satin, Calm OC-22	N/A	Benjamin Moore		
PT-14	Paint	Residential Corridors - Elevator Doors & Door Frame	Aura Waterborne Interior Paint	Pearl, Jet Black 2120-10	N/A	Benjamin Moore		
PT-15	Paint	Lobby, Elevator Vestibule & Mailroom - Ceilings	Aura Waterborne Interior Paint	Flat, Vanilla Milkshake OC-59	N/A	Benjamin Moore		
PT-16	Paint	Lobby - Walls, U.O.N.	Zolatone Polomyx Paint	Custom Light Gray, To match control sample	Refer plans & elevations	Zolatone	Marie Lombardo 347.899.6007 mlombardo@koroseal.com	
PT-17	Paint	Lobby - Accent Wall	Zolatone Illuminations Paint	Custom Dark Charcoal, To match control sample	Refer plans & elevations	Claylime	Marie Lombardo 347.899.6007 mlombardo@koroseal.com	
RESILIENT BASE								
RB-01	Rubber Wall Base	Residential Corridors	6" Reveal wall base	21- Platinum	6"H	Johnsonte		
RB-02	Rubber Wall Base	BOH areas & Cellar	Equinox wall base	32- Pebble	4.5"H	Johnsonte		
RESIN								
RS-01	Acrylic Diffuser Panels	Elevator Cab - Ceiling Panels	Varia Ecoresin	Pure White, Supermatte (front & back)	1/4" thick. Panel sizes vary -refer elevator R...	3Form, or approved equal		
RESIN FLOORING								
RF-01	Resinous Flooring	Cellar - Floors Throughout	Dex-O-Tex M-E Flooring System w/ AJ-44XL Topcoat sealant	431 Bright Gray	Refer plans & spec	Crossfield Products Corp.	1.800.704.5571	
RF-02	Resinous Flooring	Lobby - Package Room	Dex-O-Tex M-E Flooring System w/ AJ-44XL Topcoat sealant	Black	Refer plans & spec	Crossfield Products Corp.	1.800.704.5571	
STONE / SOLID SURFACE								
ST-01	Granite Slab Countertop	Market Rate Unit Kitchens - Countertop	St. Henry Black Granite Slab	Antique; To match control sample	3/4" slab; Refer plans & elevations	Artistic Tile	Arielle Small 212.727.9331 ariellesmall@artistictile.com	Slabs to be bookmatched where seams req'd; Seams to be hairline
ST-02	Marble Slab	Rec Room - Bookcase Countertop	Breccia Capraia Verde	Honed; To match control sample	1 1/4" slab, Refer plans & elevations	NY Stone	Terry Mainord 212.256.1500 terry@nystonemanhattan.com	MA to select slabs
ST-03	Krion Solid Surface Slab	Unit Bathrooms - Vanity countertop	Krion Solid Surface Slab	Matte, Snow White 1100	24"W x 22"D x 3/4" thick	Porcelanosa	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	To be fused with PF-11 sink to create 1 seamless integral sink/countertop
ST-04	Quartz Slab	Residential Corridors, U.O.N. - Saddles	Quartz Slab	Suede, Coral Clay	3/4" Slab, refer plans	Silestone	Brian Sendrowitz 516.242.1557 briansendrowitz@prospecllc.com	Saddle width to match door frame width dimension.
ST-05	Quartz Slab	Units - Saddles into bathrooms	Quartz Slab	Suede, Cemento Spa	3/4" Slab, refer plans	Silestone	Brian Sendrowitz 516.242.1557 briansendrowitz@prospecllc.com	Saddle width to match door frame width dimension.
ST-06	Burlington Stone Slab	Lobby - Saddles U.O.N.	Bursting Stone Slab	Honed; To match control sample	3/4" Slab, refer plans	Stone Source	Mitchell Kamal 212.979.6400 mkalmar@stonesource.com	Saddle width to match door frame width dimension.
ST-07	Marble Slab	Rec Room - Bookcase backsplash	Breccia Capraia Verde	Honed; To match control sample	3/4" slab, Refer plans & elevations	NY Stone	Terry Mainord 212.256.1500 terry@nystonemanhattan.com	MA to select slabs
ST-08	Quartz Slab	Unit Kitchens - Countertop @ eat-in counter islands, K2.1A, K3.1A, K4.1 & K4.2	Quartz Slab	Suede, Kensho	3/4" Slab, built up to 2" refer plans & elevations	Silestone	Brian Sendrowitz 516.242.1557 briansendrowitz@prospecllc.com	Miter corners, all edges to be eased and polished smooth
TILE								
TI-01	Porcelain Mosaic Tile	Unit Kitchens - Backsplash	Pietra D'Italia	Semigloss	2"W x 1"H x 3/8" thick; Refer plans & elevations	Nemo Tile	Melissa Savadove 212.505.0009 melissa@nemotile.com	GT-02 grout
TI-02	Porcelain Wall Tile	Unit Bathrooms - Full Height in tubs/showers & Wainscot wet walls	Metro Wall Tile	Gloss, Ultra White	6" x 6" x 3/8" thick; Refer plans & elevations	Nemo Tile	Melissa Savadove 212.505.0009 melissa@nemotile.com	Staggered pattern, GT-01 grout w/ 1/16" grout lines. MA to review mockup before installed & grouted in place
TI-03	Porcelain Floor Tile	Unit Bathrooms - Floors	Clicklik - Diamond	Natural, Smoke	12"L x 7"W (tip-to-tip) x 3/16" thick; Refer plans	Porcelanosa	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	Laid in 3D Cube pattern, GT-01 grout; MA to review mockup before installed & grouted in place
TI-04	Porcelain Wall Base	Unit Bathrooms - Wall Base	Metro Wall Tile, Bullnose top edge	Gloss, Ultra White	6" x 6" x 3/8" thick; Refer plans & elevations	Nemo Tile	Melissa Savadove 212.505.0009 melissa@nemotile.com	GT-01 grout w/ 1/16" grout lines; MA to review mockup before installed & grouted in place
TI-05	Porcelain Tile Trim	Unit Bathrooms - Edges at Full Height Wet Walls & Top Row at Wainscot Wet Walls	Metro Wall Tile, Bullnose edge	Gloss, Ultra White	2" x 6" x 3/8" thick; Refer plans & elevations	Nemo Tile	Melissa Savadove 212.505.0009 melissa@nemotile.com	GT-01 grout w/ 1/16" grout lines, MA to review mockup before installed & grouted in place
TI-06	Porcelain Tile Floor	Lobby - Floor	Mate Floor Tile	Matte, Terra Grigio	12" x 24" x 3/8" thick; Refer plans	Stone Source	Mitchell Kamal 212.979.6400 mkalmar@stonesource.com	Staggered pattern, laid at 45° angle GT-01 grout w/ 1/8" grout lines; MA to approve tile layout prior to install.
TI-07	Porcelain Tile Floor	Lobby - Floor	Mate Floor Tile	Matte, Terra Fumo	12" x 24" x 3/8" thick; Refer plans	Stone Source	Mitchell Kamal 212.979.6400 mkalmar@stonesource.com	Staggered pattern, laid at 45° angle GT-01 grout w/ 1/8" grout lines; MA to approve tile layout prior to install.
TI-08	Porcelain Tile Floor	Lobby & Elevator - Floors	Mate Floor Tile	Matte, Terra Oliva	12" x 24" x 3/8" thick; Refer plans	Stone Source	Mitchell Kamal 212.979.6400 mkalmar@stonesource.com	Staggered pattern, laid at 45° angle GT-01 grout w/ 1/8" grout lines; MA to approve tile layout prior to install.

CODE	DESCRIPTION	LOCATION	ITEM	FINISH & COLOR	DIMENSIONS	MANUFACTURER	MANUFACTURER CONTACT	COMMENTS
CARPET								
CP-01	Walk Off Mat	Entry Vestibule - Floor	New York Collection	Charcoal	3/8" thick, Custom size; Refer plan	Mats Inc.	Jeremy Skow 646.841.4519 jskow@matsinc.com	
GLASS								
GL-02	Tempered Glass	Unit Bathrooms Types B3, B4 & B6 - Shower Enclosure	MAPA-131230, seamed edges	Clear, low iron	1/2" thick Refer plans & elevations	Bendheim, or approved equal	Anna Lorente 212.547.2943 alorente@bendheim.com	
GL-03	Laminated, Safety Mirror Glass	Elevator Cab - Back wall above wainscot	MAPA-132369, flat polished edges	Bronze, low iron	3/8" thick; Refer plans & elevations	Bendheim, or approved equal	Anna Lorente 212.547.2943 alorente@bendheim.com	Conceal glue fix. Ensure any exposed edges are polished.
GL-04	Non-Temperable Mirror	Rec Room - Bookcase behind shelves	MAPA-141425, flat polished edges	Bronze, low iron	1/4" thick Refer plans & elevations	Bendheim, or approved equal	Anna Lorente 212.547.2943 alorente@bendheim.com	Conceal glue fix. Ensure any exposed edges are polished.
GROUT								
GT-01	Grout	Lobby & Elevator - Tile Floors & Bathrooms - Tile Floors & Wall...	SpectraLOCK Grout	60 Dusty Grey	N/A	Laticrete		
GT-02	Grout	Unit Kitchens - Tile Backsplash	SpectraLOCK Grout	22 Midnight Black	N/A	Laticrete		
METAL								
MT-01	Steel L-Angle Trim	Unit Bathrooms - Ledge affixed to Medicine Cabinet surround	Cold Rolled Steel L-Angle	Clear Satin Lacquer, Blackened; To match control sample	11 gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	Profiles vary, refer to details. All welds to be grinded smooth prior to finish application.
MT-02	Square, Steel Tubing	Unit Bathrooms - Vanity legs & support bars	Cold Rolled Steel	Clear Satin Lacquer, Blackened; To match control sample	3/4" x 3/4" square, TBD gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	All welds to be grinded smooth prior to finish application.
MT-03	Steel Channel	Unit Bathrooms Types B3, B4 & B6 - Shower Enclosure	Cold Rolled Steel	Clear Satin Lacquer, Blackened; To match control sample	TBD gauge; Refer plans & elevations	GlassCrafters / Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	Profiles vary, refer to details. All welds to be grinded smooth prior to finish application.
MT-04	Steel Sheet	Elevator Cab - Wall panel trim, Mirror trim, & Ceiling panel trim	Powder Coated Steel	Matte, Black; To match control sample	11 gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	Profiles vary, refer to details. All welds to be grinded smooth prior to finish application.
MT-05	Steel Sheet	Elevator Cab - Back wall wainscot panel & Side walls, full height panels	Cold Rolled Steel	Clear Satin Lacquer, Faux Copper, Natural Copper finish; To match control sample	11 gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	All welds to be grinded smooth prior to finish application.
MT-06	Stainless Steel Elevator...	Elevator Cab - Interior & Exterior Components	Stainless Steel elevator components	Non directional, blackened;...	Refer manufacturer	By Elevator Sub Contractor	Contact Elevator Sub Contractor	
MT-07	Stainless Steel Rod	Elevator Cab - Back wall	Cold Rolled Steel Handrail	Clear Satin Lacquer, Blackened; To match control sample	1 1/2" Dia.; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	Ensure mounting brackets are finished to match handrail.
MT-09	Steel Flat Bar Trim	Unit Bathrooms - Medicine cabinet surround	Cold Rolled Steel Flat Bar	Clear Satin Lacquer, Blackened; To match control sample	11 gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	Profiles vary, refer to details. All welds to be grinded smooth prior to finish application.
MT-10	Stainless Steel Door Saddles	Door saddles @ Elevator	Stainless Steel saddle	Stainless Steel	Refer manufacturer	By Elevator Sub Contractor	Contact Elevator Sub Contractor	Saddle width to match door frame width dimension.
MT-11	Square, Steel Tubing	Unit Kitchen Types: K2.1A & K2.1B- Storage support bars above peninsula & Unit Kitchen Types: K2.1A, K2.1B, K3.1A, K3.1B, K4.1, &...	Cold Rolled Steel	Gloss, Powder Coated White; To match control sample	3/4" x 3/4" square, TBD gauge; Refer plans & elevations	Delform Studios; or approved equal	Debbie Bowen 201.438.3915 debby@delformstudios.com	All welds to be grinded smooth prior to finish application.
PLASTIC LAMINATE								
PLAM-01	Plastic Laminate	Units Kitchens - Lower Cabinetry & Toe Kick	Porcelanosa - Roble Negro or approved equal	Matte, Dark Brown To match control sample	Refer plans & elevations	Porcelanosa or approved equal.	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	Bid with Porcelanosa Laminate, Residence, ABS edge millwork.
PLAM-02	Plastic Laminate	Unit Kitchen Types: K2.1B & K3.1B - Eat-In Countertop & Shelf at Above Peninsula Storage at Kitchen Type K2.1B	Materials Inc. - Aria Beton Vision - D.MBT-100C	Countertop finish, concrete look; To match control sample	4' x 10' sheets; Refer plans & elevations	Materials Inc. Or Approved Equal	Materials Inc. 201.968.0101	
PLAM-03	Plastic Laminate	Unit Kitchens Types: K1.1A, K2.1A, K3.1A, K4.1 & K4.2 - Upper Cabinetry, Full Height Pantry Cabinetry, & Refrigerator Custom Panels & Unit Kitchen Types: K1.1B, K2.1B, & K3.1B - Upper Cabinetry & Full Height Pantry Cabinetry	Porcelanosa - Blanco Snow, or approved equal	Matte, White To match control sample	Refer plans & elevations	Porcelanosa or approved equal.	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	Bid with Porcelanosa Laminate, Residence, ABS/Laser Edge millwork.
PLAM-04	High Pressure Plastic Laminate	Unit Kitchen Types: K1.1B, K2.1B, & K3.1B - Countertop	Abet Laminati - 421 Climb-BK	Matte, Black To match control sample	Refer plans & elevations	Abet Laminati or Approved Equal.	ABET Inc. 201.567.1580	
PLAM-05	Plastic Laminate	Units - Kitchen Millwork Interiors & Bathroom Vanity millwork interiors	Porcelanosa - Laminado Yeso, or approved equal	Matte, Charcoal To match control sample	Refer plans & elevations	Porcelanosa or approved equal.	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	Bid with Porcelanosa Laminate Residence series
PLAM-06	Plastic Laminate	Units Bathrooms-Vanity cabinetry	Porcelanosa - Roble Organico, or approved equal	Matte, Light Brown To match control sample	Refer plans & elevations	Porcelanosa or approved equal.	Jordana Moche 917.731.7791, jmoche@porcelanosa-usa.com	Bid with Porcelanosa Laminate, Residence, ABS edge millwork.
PAINT								
PT-01	Paint	Units - Walls Throughout	Aura Waterborne Interior Paint	Eggshell, Calm OC-22	N/A	Benjamin Moore		
PT-02	Paint	Units, Package Room & BoH areas - Ceilings, U.O.N.	Aura Waterborne Interior Paint	Flat, Decorator's White CC-20	N/A	Benjamin Moore		
PT-03	Paint	Units - Doors & Door Frames, Wood Wall Base Throughout & Walls inside Bathrooms	Aura Waterborne Interior Paint	Pearl, Calm OC-22	N/A	Benjamin Moore		
PT-04	Paint	BoH Areas- Walls, Doors & Door Frames	Aura Waterborne Interior Paint	Pearl, Decorator's White CC-20	N/A	Benjamin Moore		
PT-05	Paint	Residential Corridors - Ceiling	Aura Waterborne Interior Paint	Flat, Stormy Monday 2112-50	N/A	Benjamin Moore		
PT-06	Paint	Residential Corridors - Doors & Door Frames	Aura Waterborne Interior Paint	Pearl, Color to match RB-01	N/A	Benjamin Moore		
PT-07	Paint	Residential Corridors - Walls (wainscot level)	Aura Waterborne Interior Paint	Pearl, Bunny Gray 2124-50	N/A	Benjamin Moore		

625 DRIGGS

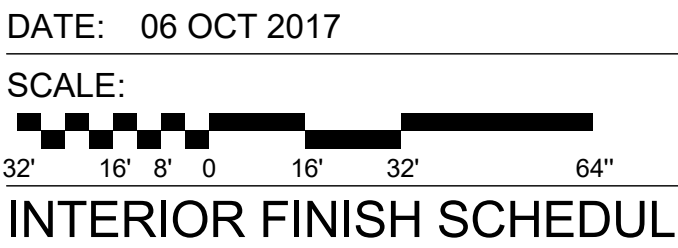
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BID SET

OWNER/CLIENT: Redsky Capital 3 Hope Street Brooklyn, NY 11211 Phone: 716-366-1800 Fax: 716-366-1699	CIVIL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 10001 Phone: 212-324-6300 Fax: 212-324-6310
ARCHITECT: Morris Adjmi Architects 60 Broad Street, 32nd Fl. New York, NY 10001 Phone: 212-682-2020 Fax: 212-674-4511	ELEVATOR: VDAI Van Deusen & Associates) 120 Eagle Rock Avenue, Suite 120 East Hanover, NJ 07930 Phone: 873-994-9220 Fax: 873-994-2539
MEP/FP: ABS Engineering 38 West 28th Street, Suite 304 New York, NY 10001 Phone: 212-317-2361	ACOUSTICAL: Longman Lindsey 1410 Broadway, Suite 508 New York, NY 10018 Phone: 212-315-6400
STRUCTURAL: McLaren Engineering Group 131 West 35th Street, 4th Fl. New York, NY 10001 Phone: 212-324-6300 Fax: 212-324-6310	ENVELOPE: SGH (Simpson Gumpertz & Heger) 550 Seventh Avenue, 10th Floor New York, NY 10018 Phone: 212-271-7000 Fax: 212-271-0111
GEOTECHNICAL: Carlin-Simpson & Associates 61 Main St Sayreville, NJ 08872 Phone: 732-432-5757 Fax: 732-432-5717	FILING REPRESENTATIVE: Design 2147 LTD. 52 Diamond Street Brooklyn, NY 11222 Phone: 718-883-9340 Fax: 718-883-8510



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10/06/2017 BID SET

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BID SET

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ELEVATOR:
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120 Eagle Rock Avenue, Suite 120
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ENVELOPE:
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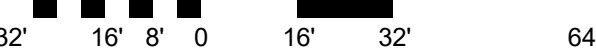
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FILING REPRESENTATIVE:
Design 2147 LTD.
52 Diamond Street
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Fax: 713-883-8510

NOT FOR CONSTRUCTION

DATE: 06 OCT 2017

SCALE:



INTERIOR FINISH SCHEDULE
(CONT.)

A-813

MA PROJECT NO:1538 SHEET OF

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UPHOLSTERY								
UP-01	Leather	Lobby - Custom Leather Seat Cushion	Leather	Cognac, to match control sample	Refer plans & elevations	Tex Style	Garret Vetterlein 201.575.0749 gvetterlein@textstyledesign.com	
VINYL FLOORING								
VF-01	Woven Vinyl Flooring - Broadloom Roll	Residential Corridors - Floor	Silence w/ Pliteq Geniemat acoustical underlayment	Balance	2.5mm thick vinyl roll; 5mm thick acoustical underlayment; Refer plans & elevations	Bolon	Maxwell Teller 212.252.2049 x 156 mteller@vir.com	Installation: Glue acoustical underlayment directly to sub floor. Glue vinyl flooring directly to acoustical underlayment.
WOOD & WOOD COMPOSITE								
WD-01	Wood Veneer Millwork	Rec Room Built-in Bookcase	Crown cut white oak veneer with custom stain.	Clear matte, Urethane finish, Stained to match...	Refer plans & elevations	By Millworker		
WD-02	Solid Wood	Rec Room Wall base	Solid Wood	Clear matte, Urethane finish, Stained to match control sample, To Match WF-02	1/2" thick x 4" H; Refer plans & Elevations	By Millworker		Squared edge profile. Top edge to be finished
WD-03	Engineered, Oak plank	Lobby - Built-in Bench front, sides & top	Atelier Heritage Oak Erice Blade Wire, Fibramix grade	Oleonature (Natural Oil & Resin, factory applied, Crystalcare anti-bacterial)	7-1/2"W plank x 1/2" thick; Refer plans & elevations	Listone Giordano	Woei-Chyi Cheung 212.223.1926 woei-chyi@margaritelli.com	Installation: Nail directly on leveled 3/4" plywood substrate. Miter corners
WD-04	HDF	Lobby - Cased Opening Trim	Painted HDF	PT-11 paint	1/2 thick x 9"W; Refer plans & elevations	By Millworker		
WD-05	HDF	Lobby - Wall Base	Painted HDF	PT-11 paint	1/2 thick x 4"H; Refer plans & elevations	By Millworker		
WOOD FLOORING								
WF-01	Wood Flooring	Units - Floors Throughout, U.O.N.	Golvabia, Engineered, Oak plank. Live sawn.	Clear matte, Urethane finish, White wash color to match control sample	5"W planks in varying lengths, 1/2" thick	Hoboken Floors	Joel Lefkowitz 201.213.2555 joel@hobokenfloorsllc.com	Installation: Wood flooring on acoustic underlayment on concrete slab.
WF-02	Wood Flooring	Rec Room - Floor	Grato, Heritage Traccia Engineered, Oak plank. Live sawn. Laid on 45° angle	M16-090, Clear matte, Urethane finish, Stained to match control sample	5"W planks in varying lengths, 1/2" thick	Hoboken Floors	Joel Lefkowitz 201.213.2555 joel@hobokenfloorsllc.com	Installation: Wood flooring on acoustic underlayment on concrete slab.
WINDOW TREATMENT								
WT-01	Roller Shade Fabric	All Primary Façade Windows	Shade Cloth ThermoVeil Dense Basket Weave, 1500 Series (3% Open)	1301 White	Refer plans & spec	Mecho Shades	Jesse Fried 718.729.2020 jessef@mechoshade.com	To be used with MechoSystems Mecho/S System. Refer ceiling details for location

NOTES:	
NOTE 1	SEE PLANS FOR FINISH LOCATIONS AND CLARIFICATION OF FLOORING TRANSITIONS AND VERTICAL SURFACES (I.E. CASEWORK, SPECIALTY WALL FINISHES, ETC)
NOTE 2	ALL SUBSTITUTIONS MUST BE APPROVED BY MORRIS ADJMI ARCHITECTS
NOTE 3	ALL MATERIALS TO BE SUBMITTED FOR APPROVAL BY MORRIS ADJMI ARCHITECTS
NOTE 4	CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY MORRIS ADJMI ARCHITECTS
NOTE 5	INCLUSIONARY HOUSING UNITS: 3E, 4B, 4D & 5A